



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Director's Notice of Disposition

SP-21-24

August 19, 2024

Application Information

| | |
|------------------------------|--|
| Case: | SP-21-24, Site Plan Review for the construction of a contractor office |
| Proposal: | The construction of a 1,152 square foot industrial building to house contractor and industrial services and associated site and parking lot improvements. |
| Applicant/Property Owner: | MACJ Painting, LLC; C/O Jose Macario; 6327 Megan Street NE, Albany, OR 97321 |
| Applicant's Representatives: | Udell Engineering and Land Surveying, LLC; C/O Laura LaRoque; 63 E Ash Street, Lebanon, 97355 Andrew Rappe; 63 E. Ash Street, Lebanon, OR 97355 |
| Address: | Unassigned Ferry Street, Albany, 11S03W07CC; Tax Lot 5600 |
| Zoning: | Light Industrial (LI) District |
| Comprehensive Plan: | Light Industrial (LI) |
| Overlay Districts: | None |
| Total Land Area: | 0.83 acres |
| Decision: | Based on the information submitted by the applicant and conclusions reached through City staff review (Exhibit A), it is the decision of the Current Planning Manager, as a designee of the Community Development Director, to approve the request subject to the conditions of approval. |

August 19, 2024

Date of Decision

Signature on file

David Martineau
Current Planning Manager

Appeal Deadline: 5:00 p.m. on August 29, 2024

Approval Expiration Date (if not appealed): August 19, 2027

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC) **with an effective date of December 29, 2023**. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact Jennifer Cepello, project planner, at 541-917-7561 or by email at jennifer.cepello@albanyoregon.gov.

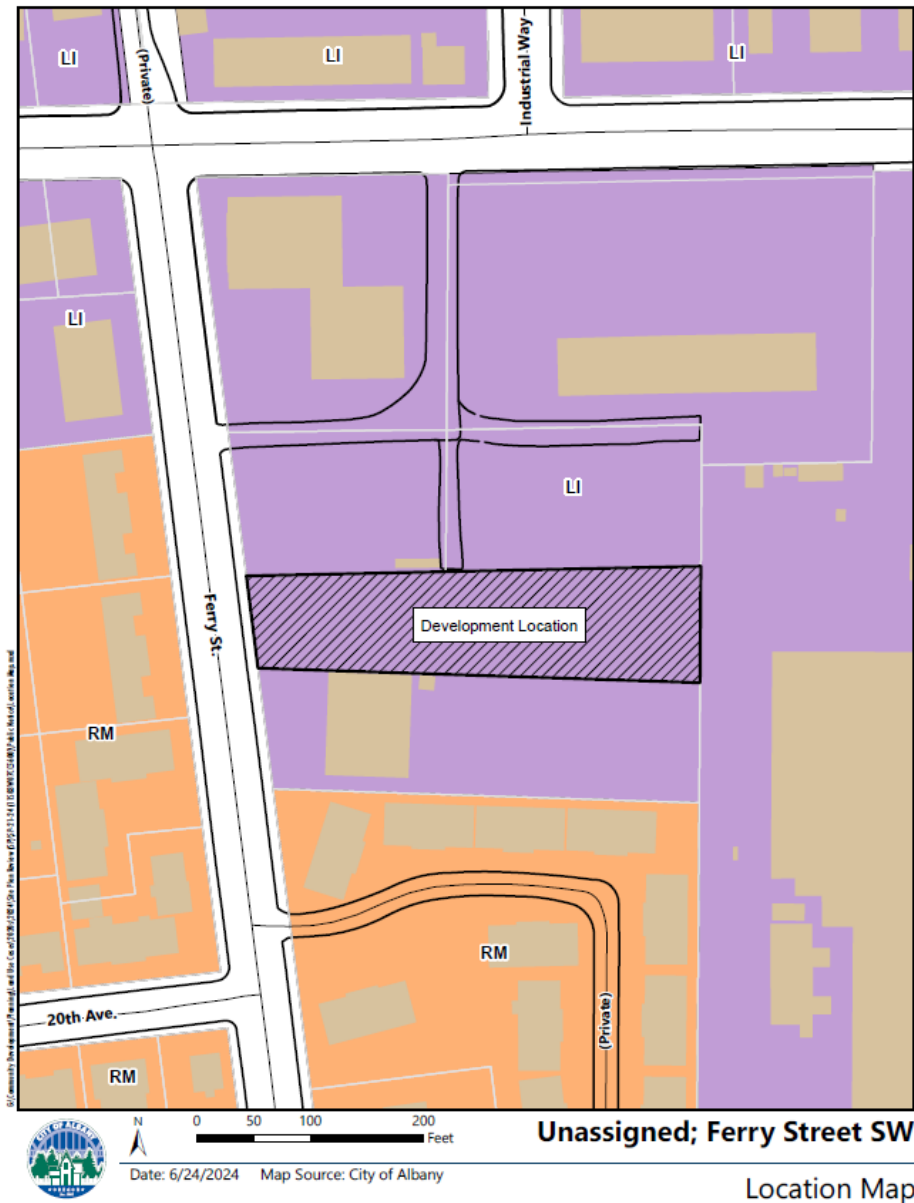
Appeal Procedure

Appeals may be made to the Planning Commission if a person with standing files a notice to appeal in accordance with ADC 1.410 with the associated filing fee no later than **10 days** from the date the City mails the notice of decision (disposition). The decision becomes final when the period for filing a local appeal has expired.

Conditions of Approval

- Condition 1* Prior to receiving a Certificate of Occupancy, the bicycle parking shelter and bicycle rack must be installed.
- Condition 2* Prior to the issuance of occupancy, all required landscaping must be installed or financially secure 110 percent of the cost of labor and materials (plants, ground covers, and any required irrigation) that have not been installed, as verified in writing by a landscape contractor.
- Condition 3* Before the City will issue building permits for the proposed project, the applicant must pay the required connection charges for existing public water system along the subject property's Ferry Street frontage.
- Condition 4* Before the applicant can make a new sewer service connection to the public sanitary sewer system, the applicant shall obtain an Encroachment Permit from the City of Albany's Engineering Division for the connection to public sanitary sewer system.
- Condition 5* Before the City will issue any occupancy permit for the proposed project, the applicant must obtain a Stormwater Quality Permit from the City of Albany's Engineering Division and construct stormwater detention and stormwater quality facilities generally as detailed in the applicant's storm drainage report.
- Condition 6* At the time of building permit application, the applicant must show the existing storm drainage, along the southern boundary is maintained and not impeded. This includes the construction details for the sidewalk, whereas the new sidewalk shall not block drainage or cause drainage to flow across the top.
- Condition 7* Prior to the city issuing the final certificate of occupancy, the applicant shall construct public sidewalk to city standards along the site's frontage on Ferry Street.
- Condition 8* Prior to the city issuing the final certificate of occupancy, the applicant shall construct a new driveway approach to Ferry Street at the location show on the approved site plan.

Location Map



Notice Information

| | |
|-------------------------------------|----------------|
| Notice of Filing Mail Date | July 23, 2024 |
| Notice Area | 300 feet |
| Comment Period | 14 days |
| Comment Due Date | August 6, 2024 |
| Comments Received (summarize below) | 1 |

COMMENTS:

One comment was received during the public notice period. The comment was submitted by Rod Keller who is the property owner of 1951 Ferry Street SW directly south of the subject property. Comments submitted expressed concerns on the proposed development and the existing drainage swale upon the property line between the subject property and the property at 1951 Ferry Street SW.

Staff addressed drainage concerns below:

“It is the property owner’s responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit for the Building Division prior to construction. Private drainage systems crossing multiple lots will require reciprocal use and maintenance easements and must be shown on the final plat. In addition, any property drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany’s Engineering Division.”

Staff included the following condition of approval to ensure that the existing drainage system is not impacted. “At the time of building permit application, the applicant must show the existing storm drainage, along the southern boundary like, is maintained and not impeded. This includes the construction details for the sidewalk, whereas the new sidewalk shall not block drainage or cause drainage to flow across the top.

Analysis of Development Code Criteria

Section 2.450 of the ADC includes the following review criteria, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

CRITERION 1 – COMPLETENESS

| | |
|-----------------------------------|---------------|
| Date application received: | June 17, 2024 |
| Date application was paid: | June 18, 2024 |
| Date application deemed complete: | July 12, 2024 |

CRITERION 2 – ZONING DISTRICT DEVELOPMENT STANDARDS

| Standard | LI Zone | Proposal |
|---|---------|-------------------------------------|
| Minimums | | |
| Lot size (sq. ft.)(1) | None | No change |
| Lot width | None | No change |
| Lot depth | None | No change |
| Front setback | 15' | No change |
| Interior setbacks -abutting non-res'l | None | No change |
| Interior setbacks - abutting res'l district | 40' (5) | Over 40' |
| Maximums | | |
| Building Size (sq. ft.) | None | One new 1,152 square foot building. |
| Lot size (sq. ft.) | None | No change |
| Height (8) | None | No change |
| Lot Coverage (7) | None | Total coverage will increase to 3% |
| Landscaped Area (3) | 100% | No change |
| Open Space | N/A | N/A |

| Special Circumstances and Exceptions | |
|--------------------------------------|--|
| (1) | The minimum lot size for residential units is 1,600 sq. ft. per unit. No minimum lot size is required for non-residential development. |
| (2) | New NC zones may be no more than 30,000 sq. ft. of contiguous land. |
| (3) | All yards adjacent to streets. Approved vegetated post-construction stormwater quality facilities are allowed in landscaped areas. |
| (4) | The minimum lot size for supporting commercial uses may be smaller than 3 acres. |
| (5) | Structures on property abutting residential districts and/or uses require 1 foot of setback for each foot of finished wall height with a minimum setback of 10 feet. |
| (6) | No setbacks are required for buildings abutting railroad rights-of-way. |
| (7) | Lot coverage for single dwelling detached and middle housing development shall only include the area of the lot covered by buildings or structures. |

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| (8) | Unless in Airport Approach Overlay District. See Sections 4.400 to 4.440. |
| (9) | Ten or more multiple-dwelling units require common open space. See Section 8.220. |
| (10) | The maximum business footprint for supporting commercial uses allowed in IP is 5,000 square feet. The maximum business footprint for convenience-oriented and personal service-oriented retail uses in NC and OP is 5,000 square feet. Convenience-oriented and personal service-oriented retail uses in buildings constructed prior to February 7, 2003, in the NC and OP districts are exempt from the maximum business footprint. |
| (11) | When adjacent to or across the street from residentially zoned land, the setback shall be 1 foot for each foot of building height over 30 ft. Buildings may increase in height (“step” up) as the setback increases. For example, at the minimum setback in LI, a building may be 30 feet tall but may increase in height up to 50 feet when set back 50 feet from the property line. |
| (12) | Higher structures permitted by Conditional Use approval. |
| (13) | The maximum building size may be exceeded for non-commercial and non-office uses when the building is multi-story. |

CRITERION 3 – SPECIAL PURPOSE DISTRICTS

| Overlay | Checklist | Supplemental Findings |
|---|--|-----------------------|
| Article 4, Airport Approach | Transitional Surface <input type="checkbox"/> Horizontal Surface <input type="checkbox"/> Conical Surface <input type="checkbox"/> Approach Surface <input type="checkbox"/> None <input checked="" type="checkbox"/> | |
| Article 4, Ldn Contours | 55 Ldn <input type="checkbox"/> 60 Ldn <input type="checkbox"/> 65 Ldn <input type="checkbox"/> None <input checked="" type="checkbox"/> | |
| Article 6, Floodplain Overlay District (/FP) | Floodway <input type="checkbox"/> Floodplain <input type="checkbox"/> FIRM Panel No. 41043C0526G Base Flood Elevation N/A NGVD 29 <input type="checkbox"/> NAVD 88 <input type="checkbox"/> Elevation Cert. <input type="checkbox"/> LOMA <input type="checkbox"/> LOMR-F <input type="checkbox"/> CLOMR-F <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |
| Article 6, Hillside Development Overlay (/HD) | Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> Geotech Report Required <input type="checkbox"/> | |
| Article 6, Riparian Corridor Overlay (/RC) | Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |
| Article 6, Significant Wetland Overlay (/SW) | Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |
| Article 6, Habitat Assessment Overlay (HA) | Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |
| Article 6, Willamette Greenway Overlay (/WG) | Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |
| Article 7, Historic Overlay District | Monteith <input type="checkbox"/> Hackleman <input type="checkbox"/> Downtown Commercial <input type="checkbox"/> Albany Municipal Airport <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |
| Conditions | | |
| None. | | |

CRITERION 4 – APPLICABLE DESIGN STANDARDS OF ARTICLE 8

| Commercial/Institutional Standards | Summary Description* | Checklist |
|--|--|--|
| Entrance Orientation, ADC 8.330(1) | New buildings shall be oriented to existing or new public streets. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Main Entrance Design, ADC 8.330(1)(a) | At least one main entrance, compliant with subsection (1), must be designed to include at least three (3) architectural features. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Parking Location, ADC 8.330(2) | Off-street parking must be located to the side or rear of the building(s) and not between the building and the street, except where the applicant demonstrates that one or more situations apply. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Façade Design & Articulation, ADC 8.345(2) | Regulated façades shall include a minimum of two types of architectural features. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Ground Floor Windows, ADC 8.345(3) | Ground floor windows or entrance doors shall be provided along regulated façades at the pedestrian level in accordance with the standards. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Windows on Upper Stories, ADC 8.345(4) | In the HD, CB, DMU, and WF zoning districts, buildings with two or more stories shall provide windows occupying at least 25 percent of the regulated façade on the upper stories in accordance with the standards. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Pedestrian Amenities, ADC 8.360(1) & (2) | New buildings or expansions or modifications to existing buildings except those where a land use application is not required pursuant to ADC Section 1.105 shall provide pedestrian amenities. | Source: Attachment B Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Pedestrian Amenities, ADC 8.365(1) | Pedestrian amenities are required in the HD, CB, DMU, and WF zones. Each development shall provide a minimum of one of the improvements listed in 8.365(1)(a) – (f). | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Compatibility Standards, ADC 8.390 | Commercial and institutional development shall be designed to comply with compatibility standards and any other improvements needed to reduce negative impacts on adjacent uses. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |

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| 4.1: The applicant proposes construct a 1,152 square foot industrial office building. Pursuant to ADC 8.315, design standards only apply to new development and the expansion of existing developments where commercial and/or institutional uses are existing or proposed. This criterion is not applicable. |
| Conditions |
| None. |

*This staff report checklist is a guide only. Refer to the Albany Development Code for the full text of standards.

CRITERION 5 – MANUFACTURED HOME DEVELOPMENT STANDARDS OF ARTICLE 10

| Standard | Checklist | Supplemental Findings |
|--------------------------------|---|-----------------------|
| Design Standards of Article 10 | Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> | |

CRITERION 6 – ONSITE DEVELOPMENT AND ENVIRONMENTAL STANDARDS OF ARTICLE 9

| Bicycle Parking Standards | Summary Description* | Checklist |
|----------------------------------|--|--|
| Bicycle Parking, ADC 9.030(3)(a) | All bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Bicycle Parking, ADC 9.030(3)(b) | If bicycle parking is located within vehicle parking areas, it must be separated from vehicular maneuvering areas by curbing or other barriers to prevent damage to parked bicycles. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Bicycle Parking, ADC 9.030(3)(c) | Bicycle parking may be in a public right-of-way, including on a public sidewalk with approval from the City Engineer. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Bicycle Parking, ADC 9.030(3)(d) | All required bicycle parking spaces for new multi-dwelling unit development, mixed-use development, offices, and institutional development shall be sheltered. For all other uses, at least 50 percent of required bicycle parking spaces must be sheltered, including 50 percent of spaces sized for larger/cargo bicycles. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Bicycle Parking, ADC 9.030(3)(e) | Bicycle parking spaces and access dimensions must comply with the standards in Table 9.030-2, except that at least 25% of bicycle parking spaces must be 3 feet wide by 8 feet long, with a 5-foot-wide access aisle and on the ground to accommodate cargo bicycles, including family and cargo bicycles. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Bicycle Parking, ADC 9.030(3)(f) | Bicycle parking spaces must be served by access aisles conforming to the minimum dimensions set forth in Table 9.030-2. These areas must be constructed of concrete, asphalt, or a pervious hard surface such as pavers, or an equivalent. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Bicycle Parking, ADC 9.030(3)(g) | Each bicycle parking space must have a parking rack securely fastened to the ground except for vertical tipped spaces. Bicycle parking racks must support each bicycle at a minimum of two points. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |

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| <p>Supplemental Findings</p> <p>6.1: The applicant proposes to construct a 1,152 square foot industrial building for contractor and industrial services.</p> <p>6.2: Table 9.030-1 depicts the required number of bicycle parking spaces by use classification. Contractor and industrial services are required to have the greater of two spaces, or 0.20 per 1,000 square feet of sales floor area. At least 50 percent of the required bicycle parking spaces must be covered. Bicycle parking spaces and access dimensions must comply with the standards in Table 9.030-2, in addition at least 25 percent of bicycle parking spaces must be 3 feet wide by 8 feet long, with a 5-foot-wide access aisle. Two bicycle parking spaces (one of which accommodates a cargo sized bicycle space) are proposed to the south of the parking lot sidewalk.</p> <p>6.3: The submitted application materials depicts the location and dimensions of the required bicycle parking area. As a condition of approval, the bicycle parking shelter and bicycle rack must be constructed prior to Certificate of Occupancy.</p> |
| <p>Conditions</p> <p>Condition 1: Prior to receiving a Certificate of Occupancy, the bicycle parking shelter and bicycle rack must be installed.</p> |

| Carpool/Vanpool Spaces | Summary Description* | Checklist |
|--------------------------------------|--|--|
| Carpool/Vanpool Spaces, ADC 9.035(1) | When parking is provided, at least one standard-sized parking space shall be reserved for carpool/vanpool parking, or ten percent of employee-use parking spaces provided, whichever is greater. | Source: Attachment C.5 Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Carpool/Vanpool Spaces, ADC 9.035(2) | Preferential carpool/vanpool parking spaces must be closer to the employee entrance of the building than other parking spaces, except for ADA accessible parking spaces. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Carpool/Vanpool Spaces, ADC 9.035(3) | Required carpool/vanpool spaces must be clearly marked "Reserved – Carpool/Vanpool Only." | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Accessible Spaces, ADC 9.040 | Spaces compliant with the Americans with Disabilities Act (ADA) must be provided in accordance with ORS 477.233 when off-street parking is provided. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |

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| <p>Supplemental Findings</p> <p>6.4: The ADC does not require parking, but if parking is provided it must meet the standards found in ADC Article 9. ADC 9.035 states "When parking is provided at least one standard-sized parking space shall be reserved for carpool/vanpool parking, or ten percent of employee-use parking spaces provided, whichever is greater."</p> <p>6.5: The applicant's narrative states: "There are a total of seven employees and two work vans total, but the painting business is mobile in nature. The proposed structure will be used to store the two work vehicles. The two employees that drive the work vans everyday will leave their personal vehicles in the proposed structure during the day. Therefore, no on-site employee parking spaces are necessary."</p> <p>6.6: Based upon the submitted application materials, the location of the two employee parking areas within the structure would be considered preferential parking.</p> <p>6.7: Any modifications to the site's provided parking may trigger the dedication of a carpool/vanpool space.</p> |
| <p>Conditions</p> <p>None.</p> |

| Electric Vehicle Charging | Summary Description* | Checklist |
|---|--|---|
| Electric Vehicle Charging Capacity, ADC 9.050 | Electrical service capacity sufficient for a level 2 electric vehicle charging station must be provided for no less than 20 percent of all new vehicle parking spaces for non-residential developments and no less than 40 percent of all vehicle parking spaces serving newly constructed residential buildings with five or more multi-dwelling units. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> |

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| | | N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Electric Vehicle Charging Capacity, ADC 9.050(2) | Electric vehicle charging capacity must be provided for 40 percent of ADA spaces in residential and mixed-use developments with five or more units, and 25 percent of ADA and Carpool/Vanpool spaces in non-residential developments. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Electric Vehicle Charging Capacity, ADC 9.050(3) | When charging facilities are provided for accessible spaces, charging facilities must be located so there is a clear and accessible path from the vehicle to the sidewalk and shall be accessible in height. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.8: The applicant proposes to provide two parking spaces at the site, one of which will be a dedicated ADA space. | | |
| 6.9: The submitted site plan depicts the location of the EV charging station to be located upon the southeastern corner of the provided ADA space. This standard is met. | | |
| Conditions | | |
| None. | | |

| Loading Standards | Summary Description* | Checklist |
|---------------------------------|---|---|
| Loading Standards, ADC 9.060(1) | Loading spaces are required for all uses in the berth shall not protrude into a public right-of-way or sidewalk. Loading berths shall be located so that vehicles are not required to back or maneuver in a public street | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Loading Standards, ADC 9.060(2) | A school having a capacity greater than 25 students shall have a driveway designed for the continuous forward flow of passenger vehicles for the purpose of loading and unloading children. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Loading Standards, ADC 9.060(3) | The minimum required loading area is as follows: (a) 250 square feet for buildings of 10,000 to 20,000 square feet of gross floor area; (b) 500 square feet for buildings of 20,000 to 50,000 square feet of gross floor area; (c) 750 square feet for buildings greater than 50,000 square feet of gross floor area. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Loading Standards, ADC 9.060(4) | The required loading area shall not be less than 10 feet wide by 25 feet long and shall have an unobstructed height of 14 feet. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Loading Standards, ADC 9.060(5) | Required loading facilities shall be installed prior to final building inspection and shall be permanently maintained as a condition of use. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Loading Standards, ADC 9.060(6) | Loading areas shall be subject to the same provisions as parking areas relative to plan information, setbacks, buffering/screening requirements, and lighting. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |

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| Supplemental Findings |
| 6.10: The applicant proposes to construct an 1,152 square foot contractor’s office. The proposed use and building size do not require loading spaces. This standard is not applicable. |
| Conditions |
| None. |

| Parking Area Improvement Standards | Summary Description* | Checklist |
|--|---|--|
| Parking Area Improvement Standards, ADC 9.100 | All public or private parking areas, loading areas and outdoor vehicle sales areas must be improved based on the standards. When the total surface parking area for the development site exceeds 10,890 square feet, parking area improvements must comply with the standards in Section 9.135. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Other Requirements, ADC 9.100(2) | All parking areas shall conform to the setback, clear vision, landscaping, and buffering/screening provisions of this Code. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Surfacing, ADC 9.100(3) | All required parking, travel aisles, and access, shall have a durable, dust-free surface of asphalt, cement concrete, or other materials approved by the Director. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Drainage, ADC 9.100(4) | All parking lots must provide a drainage system to dispose of the runoff generated by the impervious surface. Provisions shall be made for the on-site collection of drainage water to eliminate sheet flow of such water. All drainage systems must be approved by the Director of Public Works. | Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Perimeter Curb, ADC 9.100(5) | Perimeter curbing is required for protection of landscaped areas and pedestrian walkways, and to prevent runoff onto adjacent properties. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Wheel Bumper, ADC 9.100(6) | All parking stalls fronting a sidewalk, alleyway, street or property line, shall provide a secured wheel bumper at least six inches high and at least six feet long, set back from the front of the stall at least 2-1/2 feet, but no more than three feet. If the sidewalk is widened to seven feet six inches, no wheel bumpers are required. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Turnaround, ADC 9.100(7) | Groups of more than two parking spaces must be located and served by an aisle or turnaround so that their use will require no backing movements or other maneuvering in a street right-of-way other than an alley. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Striping, ADC 9.100(8) | Lots containing more than two parking spaces must have all required spaces permanently and clearly striped. Stripes must be at least four inches wide. When motorcycle parking, compact, or parking spaces for the disabled are provided, they shall be designated within the stall. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Connecting to Adjacent Parking Areas, ADC 9.100(9) | Where an existing or proposed parking area is adjacent to a site within the same zoning district, any modifications to the parking areas must be | Source: Standard met <input type="checkbox"/> |

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|---|--|--|
| | designed to connect to the existing or future adjacent parking area, unless waived by the Director. | With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Parking Lot Landscaping, ADC 9.100(10) | Parking lots shall be landscaped according to the standards in Section 9.150. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Compact Car Parking, ADC 9.100(11) | No more than 40 percent of parking spaces provided may be designated for compact cars. Compact spaces must be signed and/or the space painted with the words "Compact Car Only." | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Parking Accessible to the Disabled, ADC 9.100(12) | All parking areas must provide accessible parking spaces in conformance with the Oregon Structural Specialty Code. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Lighting, ADC 9.100(13) | Any lights provided to illuminate any public or private parking area or vehicle sales area must be arranged to reflect the light away from any abutting or adjacent properties. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Pedestrian Access, ADC 9.100(14) | Walkways and accessways shall be provided in all new off-street parking lots and additions to connect sidewalks adjacent to new development to the entrances of new buildings. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Occasional Overflow Parking, ADC 9.110 | The Director may approve the use of gravel surfacing for parking above the maximum parking requirements intended for occasional needs. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Conversion of Off-Street Parking, ADC 9.115) | When new development, including expansions to existing structures, results in the conversion or elimination of existing off-street surface parking areas for a use other than bicycle-oriented and transit-oriented facilities, all existing parking areas that are physically impacted by the development must be improved to the standards in Article 9. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |

Supplemental Findings

6.11: The applicant proposes to construct a 1,152 square foot industrial building for a contractor’s office and associated site improvements including two off-street parking spaces. One of the two spaces will be for ADA and the other will be a standard parking stall, no compact parking stalls are proposed with this development.

6.12: The submittal materials indicates that the proposed parking area will meet the standards of ADC 9.100-9.115.

6.13: The applicant proposes to create a five-in-a-half wide pedestrian access along the driveway for pedestrian access to the site from Ferry Street right-of-way.

Conditions

None

| Parking Lot Design & Circulation | Summary Description* | Checklist |
|--|--|--|
| Off-Street Parking Lot Design & Circulation, ADC 9.120(1) | All off-street parking lots over 1,000 square feet (contiguous) must be designed in accordance with the standards in this Article and the City standards for parking stalls and drive aisles as set forth in Table 9.120-1: Parking Lot Design and supplemental drawings in Figures 1 and 2. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Driveways and Drive Aisles, ADC 9.120(2) | <i>Driveways</i> are major travel routes through a site that provide access to and from surrounding streets and connections through the site to buildings and parking lot drive aisles. <i>Drive aisles</i> primarily provide vehicular access to bordering parking spaces. See Figure 9.120-1. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Internal Circulation System, ADC 9.120(3) | Interior driveways shall meet the standards in (a) – (g) unless the driveway is lined with angled or perpendicular parking stalls. Developments must provide street-like design and features along driveways including curbs, pedestrian facilities, and buildings built up to pedestrian facilities. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Minimum Driveway and Drive Aisle Widths, ADC 9.120(4) | Driveways for two-way traffic and emergency vehicle operations must be at least 24 feet wide. One-way driveways and one-way emergency vehicle access must be at least 20 feet wide. Drive aisle dimensions must comply with the standards in Table 9.120-1. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Parking Lot Design, ADC 9.120(5) | Parking stall and aisle dimensions must comply with Table 9.120-1. Stall dimensions are measured from inside the stripes. The design of driveways and on-site maneuvering and loading areas for commercial and industrial developments shall include 20 feet of storage length. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Compact Spaces, ADC 9.120(6) | Shall be at least 8 feet wide by 16 feet long. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Accessible Spaces, ADC 9.120(7) | Accessible spaces shall be a minimum of 9 feet wide and 17 feet long and designed in accordance with the Oregon Structural Specialty Code (OSSC). An adjacent access aisle must be provided that is at least eight feet wide and 17 feet long for a van-accessible space, and six feet wide for a standard accessible space. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Stall Width, ADC 9.120(8) | Long-term parking spaces must be at least 8.5 feet wide. Parking stalls for grocery stores or adjacent to planter islands must be at least 9.5 feet wide. Stall dimensions are measured from inside the stripes. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.14: The applicant proposes to construct an 1,152 square foot industrial building to facilitate contractor and industrial services. The applicant proposes to provide two parking stalls with associated two-way traffic driveway and maneuvering area. | | |
| 6.15: The submitted site plan indicates off-street parking lot design and circulation standards will be met. | | |
| Conditions | | |
| None. | | |

| Surface Parking Areas Standards | Summary Description* | Checklist |
|--|--|---|
| Surface Parking Areas, ADC 9.130(1) | Standards apply to new or improved surface parking areas of more than 0.25 acres (10,890 square feet), when existing parking areas are enlarged to more than 10,890 square feet, and when re-construction of a surface parking area of more than 0.25 acres is proposed. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Surface Parking Areas, ADC 9.130(2) | Compliance with at least one of the following options in (a) – (c). | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Surface Parking Areas, ADC 9.130(3) | Trees must be provided along all driveways but are not required along drive aisles. Trees shall be at least 10 feet tall at the time of planting. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Surface Parking Areas, ADC 9.130(4) | Development of a tree canopy plan under this section shall be done in coordination with the local electric utility and other utility providers, including pre-design, design, building and maintenance phases and meet the standards in (a) – (e). | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Surface Parking Areas, ADC 9.130(5) | Parking lots shall be designed to separate pedestrians from vehicles and include protected pedestrian walkways from parking areas to building entrances. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Surface Parking Areas, ADC 9.130(6) | Parking lots with 75 or more spaces must comply with additional standards to ensure pedestrian safety and to improve vehicle circulation and reduce visual impacts of large expanses of pavement. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.16: The applicant proposes to provide two parking spaces. The total parking area, including maneuvering and landscaping areas, is less than 10,000 square feet. This standard is not applicable to this development. | | |
| Conditions | | |
| None. | | |

| Connectivity | Summary Description* | Checklist |
|---|---|---|
| Street, Bicycle and Pedestrian Connectivity, ADC 9.133(4) | Pedestrian and bicycle connections shall be provided in the following locations: (a) Between an existing or planned transit stop and new development that is at, or within, 200 feet of the existing or planned transit stop; (b) Between the building’s main entrance(s) and the nearest sidewalk abutting the site or roadway where there is no sidewalk; (c) Between the development site and abutting properties. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Major Transit Stops, ADC 9.133(5) | Sites at major transit stops shall provide the items listed in (a) – (f). | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |

| |
|---|
| Supplemental Findings |
| 6.17: The applicant proposes to construct an 1,152 square foot industrial building. The applicant proposes to provide pedestrian and bicycle connections from the proposed development to Ferry Street via a raised five-and-a-half-foot wide sidewalk. This standard is met. |
| Conditions |
| None. |

| Non-Residential Landscaping | Summary Description* | Checklist |
|--|---|---|
| Landscaping Required – Non-Residential, ADC 9.140(2) | All required front and interior setbacks (exclusive of accessways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC 9.190 before an occupancy permit will be issued. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.18: The applicant submitted a conceptual landscaping plan for the proposed development. As a condition of approval, the applicant shall have all landscaping installed or have landscaping guaranteed in accordance with ADC 9.190 prior to the issuance of a Certificate of Occupancy. | | |
| Conditions | | |
| Condition 2: Prior to the issuance of occupancy, all required landscaping must be installed or financially secured 110 percent of the cost of labor and materials (plants, ground covers, and any required irrigation) that have not been installed, as verified in writing by a landscape contractor. | | |

| Parking Lot Landscaping | Summary Description* | Checklist |
|--|---|---|
| Planter Bays, ADC 9.150(1) | Parking areas shall be divided into bays of not more than 12 parking spaces. At both ends of each parking bay, there shall be curbed planters at least six feet wide, excluding the curb. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Entryway Landscaping, ADC 9.150(2) | Both sides of a parking lot entrance shall be bordered by a minimum five-foot-wide landscape planter strip meeting the same landscaping provisions as planter bays, except that no sight-obscuring trees or shrubs are permitted. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Parking Space Buffers, ADC 9.150(3) | Parking areas shall be separated from the exterior wall of a structure by pedestrian walkways or loading areas or by a five-foot strip of landscaping materials. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Stormwater Collection System, ADC 9.150(4) | Vegetated post-construction stormwater quality facilities shall be considered as the initial stormwater collection system. | Source: Attachment B.4 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Landscape Protection, ADC 9.150(5) | Required landscaped areas adjacent to graveled areas must be protected, either by railroad ties secured by rebar driven 18 inches into the ground, by large boulders, or by another acceptable means of protection. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Parking Area Perimeter Landscaping in Village Centers, ADC 9.160 | All parking areas (excluding entranceways) adjacent to a public street shall be screened according to one of the following options in (a) through (d). The landscape plan shall be prepared by a licensed landscape architect. | Source: Standard met <input type="checkbox"/> |

| | | |
|--|---|---|
| | | With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Irrigation of Required Landscaping, ADC 9.165 | All required landscaped areas must be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman submits written verification that the proposed plants do not require irrigation. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.19: The applicant submitted a conceptual landscaping plan which included the required parking lot landscaping. This standard is met with compliance with Condition 2 and incorporated here by reference. | | |
| Conditions | | |
| None. | | |

| Tree Felling Standards | Summary Description* | Checklist |
|--|--|---|
| Tree Felling, ADC 9.205(1) | The Director or his/her designee shall approve a Site Plan Review for tree felling when the applicant demonstrates that the felling of the tree(s) is warranted because of the condition of the tree(s) with respect to disease, hazardous or unsafe conditions, danger of falling, proximity to existing structures or proposed construction, or interference with utility services or pedestrian or vehicular safety. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Tree Felling, ADC 9.205(2) | For property where a Site Plan Review, Conditional Use, or land division application has been approved or is currently under review for development of the property, the Director or his/her designee shall approve Site Plan Review for tree felling when the applicant demonstrates that all of the review criteria in (a) – (d) are met. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Tree Felling, ADC 9.205(3) | For property where tree felling is proposed and there is no approved or concurrent Site Plan Review, Conditional Use, or land division application for development of the property, the Director or his/her designee shall approve a Site Plan Review application for tree felling when the applicant demonstrates that all the review criteria in subsection (2) above are met, and the additional criteria in (a) – (g) are met. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Clear & Objective Criteria for Tree Felling Associated with Housing, ADC 9.206 | For property where a building permit, Site Plan Review, subdivision, or partition application has been approved or is currently under review for the development of housing on a property, the applicant proposing the felling of trees may choose to meet the criteria in Section 9.206 rather than the criteria in Section 9.205. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| Conditions | | |

| Buffering & Screening Standards | Summary Description* | Checklist |
|---------------------------------|--|---|
| Buffering, ADC 9.240 | The buffer area shall meet the standards in (1) – (3). | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |

| | | |
|---|---|---|
| Screening, ADC 9.250 | Where screening is required or provided, these standards apply in addition to conditions (1) <u>and</u> (3) of ADC 9.240. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Screening of Refuse Containers, ADC 9.255 | Standards apply to all developments except for refuse containers or disposal areas serving four or fewer dwellings. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Buffer and Screening Matrix, Table 9.210-1 | <input type="checkbox"/> 0' Buffer Only <input checked="" type="checkbox"/> <input type="checkbox"/> 5' Buffer & Screening <input type="checkbox"/> <input type="checkbox"/> 10' <input type="checkbox"/> 20' <input checked="" type="checkbox"/> 30' <input type="checkbox"/> 40' | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Supplemental Findings | | |
| 6.20: The subject property is located within the LI zoning district and abuts a residential zoning district to the west on the other side of Ferry Street, a public right-of-way. Based upon Table 9.210-1 and 9.240, a 30-foot-wide landscape buffer is required. Pursuant to ADC 9.210 where a use would be abutting another use except for separation by right-of-way, buffering (but not screening) shall be required as specified in the matrix. | | |
| 6.21: The applicant submitted a conceptual landscaping plan which includes the required buffering landscaping. A condition of approval is previously mentioned in this report and is incorporated here by reference. | | |
| Conditions | | |
| None. | | |

| Fence & Wall Standards | Summary Description* | Checklist |
|--|--|--|
| Fence and Wall Standards in Residential, MUR and MUC zones, ADC 9.380(1) | Fences shall be no taller than 4 feet in required front setbacks. Properties listed on the National Register of Historic Places may have front yard fences taller than 4 feet if the fence is appropriate to the building style and scale and is approved by the Landmarks Commission. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Fence and Wall Standards on Corner Lots in Residential, MUR and MUC zones, ADC 9.380(2) | Corner properties, which by definition have two front yards, may have a fence no taller than 6 feet in the front yard adjacent to the street that does not contain the main door entrance when the fence does not extend in front of the building and one of the conditions in (a) – (d) is met. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Fence and Wall Standards for Interior Setbacks in Residential, MUR and MUC zones, ADC 9.380(3) | Fences in a residential zone in Article 3 or in the MUR or MUC zone may have fences up to six feet tall in the interior setbacks except that a single-dwelling use or zone that shares an interior property line with a multiple-dwelling unit, commercial or industrial use or zone may have a fence up to eight feet tall along the property line. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Fence and Wall Standards in Commercial, Industrial, ES, LE, MS, PB, and TD zones, ADC 9.380(4) | Fences shall be no taller than 6 feet in required front setbacks. 6-foot fences containing barbed wire on top or fences taller than 6 feet are not permitted in the front setback. | Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/> |
| Fence and Wall Standards in HD, DMU, CB, and WF zones, ADC 9.380(5) | Fences shall be no taller than 4 feet within 10 feet of a front lot line unless allowed under (a)-(c). Barbed wire on top of fences is not permitted within 10 feet of a front lot line. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> |

| | | |
|---|--|--|
| Standards for All Fences, ADC 9.380(6)-(10) | <input type="checkbox"/> Over 8 feet <input type="checkbox"/> Clear Vision Area verified <input type="checkbox"/> Fence height verified <input type="checkbox"/> Setbacks verified <input type="checkbox"/> Property line verified | See findings below <input type="checkbox"/> Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Screening Standards, ADC 9.385(1)-(2) | In order to be "sight-obscuring," fences and walls must be at least 75 percent opaque when viewed from any angle at a point 25 feet away from the fence or wall. Hedges must be an evergreen species that will meet the standards year-round within two years of planting. Fences and walls will be a minimum of 6 feet tall. Hedges will be of a species capable of attaining a height of at least six feet within two years of planting. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.22: The applicant's site plan indicates the installation or the existence of a chain-link fence at a height of six feet along the south property line and a portion of the north property line, an existing seven-foot high chain-link fence along a portion of the north property line, and a six and a half foot high chain-link fence along the rear property line. The application did not mention the installation of a fence along the front of the subject property. This standard is met. | | |
| Conditions | | |
| None. | | |

| Environmental Standards | Summary Description* | Checklist |
|--|---|---|
| Environmental Standards – Noise, ADC 9.440(1)-(5) | The City noise standards are stated in Albany Municipal Code Title 7, Public Peace, Morals and Safety. Oregon Administrative Rules (OAR) 340-035-0035, Noise Control Regulations for Industry and Commerce, is adopted here in its entirety, and as may be subsequently amended by the State of Oregon. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Environmental Standards – Visible Emissions, ADC 9.450 | Within the mixed-use, commercial, IP and WF zoning districts, there shall be no use, operation, or activity that results in a stack or other point source emission, other than an emission from space heating, or the emission of pure uncombined water (steam) that is visible from a property line. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Environmental Standards – Water Quality, ADC 9.455 | Direct discharge of stormwater and process waste from the operation of industries shall comply with the water quality standards adopted by the City of Albany, DEQ and as authorized by a National Pollutant Discharge Elimination System (NPDES) Permit. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Environmental Standards – Vibration, ADC 9.460 | Continuous, frequent, or repetitive vibrations that exceed 0.002g peak may not be produced. Vibrations from temporary construction and vehicles that leave the site (such as trucks, trains, or aircraft) are exempt; vibrations lasting less than five minutes per day are also exempt. Vibrations from primarily on-site vehicles and equipment are not exempt. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Environmental Standards – Odors, ADC 9.470 | Continuous, frequent, or repetitive odors or the emission of odorous gases or other matter in such quantities as to be readily detectable at any point beyond the property line of the use creating the odors is prohibited. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Environmental Standards – Glare and Heat, ADC 9.480 | No direct- or sky-reflected glare in excess of 0.5-foot candles of light, whether from floodlights or from high-temperature processes such as combustion or welding or otherwise, visible at the lot line shall be permitted. There shall be no emission or transmission of heat or heated air so as to be discernible at the lot line of the source. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |

| | | |
|--|--|---|
| Environmental Standards – Insects and Rodents, ADC 9.490 | All materials including wastes shall be stored and all grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents or create a health hazard. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Environmental Standards – Hazardous Waste, ADC 9.500 | Hazardous wastes are subject to the regulations of Oregon Administrative Rules (OAR) 340.100-110, Hazardous Waste Management. | Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/> |
| Supplemental Findings | | |
| 6.23: The applicant proposes to construct a 1,152 square foot industrial building to be used as a contractor office. No adverse environmental impacts are anticipated. | | |
| Conditions | | |
| None | | |

*This staff report checklist is a guide only. Refer to the Albany Development Code for the full text of standards.

CRITERION 7 – PUBLIC FACILITIES AND UTILITIES IN ACCORDANCE WITH ARTICLE 12

| Utility | Diameter Size | Location | Checklist |
|--|---------------|-------------------------------------|---|
| Sanitary Sewer | 8-inch | Within Ferry Street SW right-of-way | Source: Attachment B.4 Standard met <input type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> Connection Charge <input checked="" type="checkbox"/> Connection Required <input checked="" type="checkbox"/> System Development <input checked="" type="checkbox"/> |
| Water | 12-inch | Within Ferry Street SW right-of-way | Source: Attachment B.4 Standard met <input type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> Connection Charge <input checked="" type="checkbox"/> Connection Required <input checked="" type="checkbox"/> System Development <input checked="" type="checkbox"/> |
| Storm Drainage | None | None | Source: Attachment B.4 Standard met <input type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> Connection Charge <input type="checkbox"/> Connection Required <input type="checkbox"/> Onsite Detention <input checked="" type="checkbox"/> SWQ Facility <input checked="" type="checkbox"/> System Development <input checked="" type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> |
| Supplemental Findings | | | |
| 7.1: The applicant’s preliminary site plan indicates that the proposed development will be connected to a new private sewer lateral serving the site from the sanitary sewer main to the north. | | | |
| 7.2: It is the property owner’s responsibility to ensure that the proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage systems, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany’s Engineering Division. | | | |

| |
|---|
| <p>7.3: ADC 12.530 states that a development will be approved only where adequate provisions for storm and flood water run-off have been made, as determined by the City Engineer. Roof drains shall be discharged to a collection system approved by the City Engineer. In addition, no storm water may discharge to the public sanitary sewer system.</p> <p>7.4: Surface water drainage patters and proposed storm drainage must be shown on every development proposal plan. Before beginning work, the applicant must submit to the Public Works Engineering Division, a storm drainage plan for the site that shows the proposed slope of the lot and how storm drainage will be collected and routed to a public storm drain system. If storm drainpipes are planned, indicate the size and slope of each pipe. The City does not allow sheet flow of stormwater across the sidewalk and into the street. The high point on the driveway must be at the property line so that all on-site drainage is collected within the applicant's property. In addition, no stormwater (including roof drainage) may be discharged to the sanitary sewer (ADC 12.530).</p> <p>7.5: AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment projects creates or replaces more than 5,000 square feet of impervious surfaces, including all phases of development.</p> <p>7.6: The applicant must include a detailed storm drainage plan with building permit submittal. The drainage plan shall show onsite stormwater quality and detention facilities form the proposed structure and site improvements will be discharged to a point approved by the Engineering Department. Final design details for these storm drainage facilities will be reviewed in conjunction with review of a post-construction stormwater quality permit.</p> |
| <p>Conditions</p> <p>Condition 3: Before the City will issue building permits for the proposed project, the applicant must pay the required connection charges for existing public water system along the subject property's Ferry Street frontage.</p> <p>Condition 4: Before the applicant can make a new sewer service connection to the public sanitary sewer system, the applicant shall obtain an Encroachment Permit from the City of Albany's Engineering Division for the connection to public sanitary sewer system.</p> <p>Condition 5: Before the City will issue any occupancy permit for the proposed project, the applicant must obtain a Stormwater Quality Permit form the City of Albany's Engineering Division and construct stormwater detention and stormwater quality facilities generally as detailed in the applicant's storm drainage report.</p> <p>Condition 6: At the time of building permit application, the applicant must show the existing storm drainage along the southern boundary line is maintained and not impeded. This includes the construction details for the sidewalk, whereas the new sidewalk shall not block drainage or cause drainage to flow across the top.</p> |

CRITERION 8 – TRANSPORTATION IMPROVEMENTS IN ACCORDANCE WITH ARTICLE 12

| Street Name or Alley | Classification | Frontage Condition | Supplemental Findings |
|---|---|---|---|
| Ferry Street | Principal Arterial <input type="checkbox"/> Minor Arterial <input type="checkbox"/> Major Collector <input checked="" type="checkbox"/> Minor Collector <input type="checkbox"/> Local <input type="checkbox"/> Alley <input type="checkbox"/> | Meet City Standards <input checked="" type="checkbox"/> Not Improved <input type="checkbox"/> Curb and Gutter <input checked="" type="checkbox"/> Sidewalk <input type="checkbox"/> Vehicle Lane <input checked="" type="checkbox"/> Bicycle Lane <input checked="" type="checkbox"/> On-Street Parking <input checked="" type="checkbox"/> | 8.1 The subject property has frontage onto Ferry Street. |
| | Principal Arterial <input type="checkbox"/> Minor Arterial <input type="checkbox"/> Major Collector <input type="checkbox"/> Minor Collector <input type="checkbox"/> Local <input type="checkbox"/> Alley <input type="checkbox"/> | Meet City Standards <input type="checkbox"/> Not Improved <input type="checkbox"/> Curb and Gutter <input type="checkbox"/> Sidewalk <input type="checkbox"/> Vehicle Lane <input type="checkbox"/> Bicycle Lane <input type="checkbox"/> On-Street Parking <input type="checkbox"/> | |
| | Principal Arterial <input type="checkbox"/> Minor Arterial <input type="checkbox"/> Major Collector <input type="checkbox"/> Minor Collector <input type="checkbox"/> Local <input type="checkbox"/> Alley <input type="checkbox"/> | Meet City Standards <input type="checkbox"/> Not Improved <input type="checkbox"/> Curb and Gutter <input type="checkbox"/> Sidewalk <input type="checkbox"/> Vehicle Lane <input type="checkbox"/> Bicycle Lane <input type="checkbox"/> On-Street Parking <input type="checkbox"/> | |
| Supplemental Findings | | | |
| 8.2: The project is located on a vacant parcel just south of 1831 Ferry Street. The project will construct a 1,152 square foot industrial building together with an associated parking lot. | | | Traffic Impact Analysis <input type="checkbox"/> Trip Generation Report <input type="checkbox"/> |

| | |
|--|--|
| <p>8.3: ADC 12.060 requires that all street within and adjacent to new development to be improved to city standards.</p> <p>8.4: ADC 12.290 requires new development to install public sidewalk improvements on all public streets within and adjacent to the development.</p> <p>8.5: Ferry Street is classified as a major collector street, and with the exception to sidewalk is improved to city standards along the frontage of the development site. Improvements include; curb and gutter, two vehicle travel lanes in each direction; on-street parking, and on-street bike lanes.</p> <p>8.6: The site plan submitted by the applicant proposes construction of public sidewalk along the site's frontage on Ferry Street.</p> <p>8.7: Access to the site will be provided by a new driveway to Ferry Street. The size and location of the driveway complies with the standards in ADC 12.100.</p> <p>8.8: Staff has estimated site trip generation based on Institute of Transportation Engineers (ITE) trip generation rates. Trip generation for the proposed use was estimated by using ITE trip rates for category 180, "Specialty Trade Contractor". The proposed use was estimated in generate a total of 5 average daily trips (ADT), of which 1 is expected to occur during the peak PM traffic hour. Albany's threshold for submittal of a trip generation estimate is 50 peak hours trips. Developments that generate 100 or more peak hour trips are required to submit a TIA.</p> <p>8.9: Albany's Transportation System Plan (TSP) does not identify any congestion or capacity issues occurring along the frontage of the site.</p> | <p>Capacity/Congestion <input type="checkbox"/></p> <p>AM Peak Hr. Trips _____</p> <p>PM Peak Hr. Trips <u>5</u></p> <p>See findings at left <input checked="" type="checkbox"/></p> |
| <p>Conditions</p> <p>Condition 7: Prior to the city issuing the final certificate of occupancy, the applicant shall construct public sidewalk to city standards along the site's frontage on Ferry Street.</p> <p>Condition 8: Prior to the city issuing the final certificate of occupancy, the applicant shall construct a new driveway approach to Ferry Street at the location show on the approved site plan.</p> | |

CRITERION 9 – STORMWATER QUALITY FACILITIES CONSISTENT WITH AMC TITLE 12

| | |
|---|--|
| <p>Supplemental Findings</p> | |
| <p>9.1: See findings under Site Plan Review Criterion Seven (above) related to stormwater quality standards in response to this review criterion.</p> | <p>Site Larger than 1 Acre <input type="checkbox"/></p> <p>> 8,100 sf Impervious Surface <input type="checkbox"/></p> <p>SWQ Permit Req'd. <input checked="" type="checkbox"/></p> <p>N/A <input checked="" type="checkbox"/></p> <p>See findings at left <input checked="" type="checkbox"/></p> |
| <p>Conditions</p> <p>None</p> | |

CRITERION 10 – PRIOR LAND USE CONDITIONS

| | |
|--|--|
| <p>Prior Land Use Cases</p> <p><input type="checkbox"/></p> | <p>Not Applicable <input checked="" type="checkbox"/></p> |
|--|--|

CRITERION 11 – NONCONFORMING SITES IN ACCORDANCE WITH ADC 2.330

| | |
|---------------------------------------|---|
| <p>Supplemental Findings</p> | |
| | <p>Nonconforming Development <input type="checkbox"/></p> <p>Nonconforming Lot <input type="checkbox"/></p> <p>Nonconforming Use <input type="checkbox"/></p> <p>N/A <input checked="" type="checkbox"/></p> <p>See findings at left <input type="checkbox"/></p> |
| <p>Conditions</p> <p>None.</p> | |

Analysis of Development Code Criteria

Section 2.455 of the ADC includes the following review criteria applicable to non-residential development, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

CRITERION 1 – TRANSPORTATION SYSTEM CAN SAFELY AND ADEQUATELY ACCOMMODATE THE PROPOSED DEVELOPMENT

| |
|--|
| Findings |
| 1.1: Transportation findings and conclusion under Site Plan Review Criterion Eight (above) are incorporated here by reference. |
| Conditions |
| None. |

CRITERION 2 – PARKING AREAS AND ENTRANCE-EXIT POINTS ARE DESIGNED TO FACILITATE TRAFFIC AND PEDESTRIAN SAFETY AND AVOID CONGESTION

| |
|--|
| Findings |
| 2.1: The subject property has direct frontage onto Ferry Street. The proposed development will construct a 26-foot-wide two-way driveway connection to Ferry Street. Findings address the parking and circulation standards are found in Criterion 6 and are incorporated here by reference. |
| 2.2: Pedestrian access will be provided from the building to Ferry Street through the construction of a new five-in-a-half foot wide sidewalk along the southern side of the driveway. |
| Conditions |
| None. |

CRITERION 3 – DESIGN AND OPERATING CHARACTERISTICS OF THE PROPOSED DEVELOPMENT ARE REASONABLY COMPATIBLE WITH SURROUNDING DEVELOPMENT AND LAND USES, AND ANY NEGATIVE IMPACTS HAVE BEEN SUFFICIENTLY MINIMIZED.

| |
|--|
| Findings |
| 3.1: The submitted Site Plan Review is for the construction of a 1,152 square foot industrial building. The surrounding properties are a mix of industrial zoned properties with industrial uses and residential uses within the residential zoned properties. |
| 3.2: The proposed use, contractor and industrial offices, is consistent with the Light Industrial Zoning District and is compatible with surrounding development and land uses. This criterion has been met. |
| Conditions |
| None. |

Overall Conclusion

As proposed and conditioned, the application for Site Plan Review satisfies all applicable review criteria as outlined in this report.

Conditions of Approval

Condition 1 Prior to receiving a Certificate of Occupancy, the bicycle parking shelter and bicycle rack must be installed.

- Condition 2* Prior to the issuance of occupancy, all required landscaping must be installed or financially secure 110 percent of the cost of labor and materials (plants, ground covers, and any required irrigation) that have not been installed, as verified in writing by a landscape contractor.
- Condition 3* Before the City will issue building permits for the proposed project, the applicant must pay the required connection charges for existing public water system along the subject property's Ferry Street frontage.
- Condition 4* Before the applicant can make a new sewer service connection to the public sanitary sewer system, the applicant shall obtain an Encroachment Permit from the City of Albany's Engineering Division for the connection to public sanitary sewer system.
- Condition 5* Before the City will issue any occupancy permit for the proposed project, the applicant must obtain a Stormwater Quality Permit from the City of Albany's Engineering Division and construct stormwater detention and stormwater quality facilities generally as detailed in the applicant's storm drainage report.
- Condition 6* At the time of building permit application, the applicant must show the existing storm drainage, along the southern boundary is maintained and not impeded. This includes the construction details for the sidewalk, whereas the new sidewalk shall not block drainage or cause drainage to flow across the top.
- Condition 7* Prior to the city issuing the final certificate of occupancy, the applicant shall construct public sidewalk to city standards along the site's frontage on Ferry Street.
- Condition 8* Prior to the city issuing the final certificate of occupancy, the applicant shall construct a new driveway approach to Ferry Street at the location show on the approved site plan.

Attachments

- A. Location Map
- B. Site Map
- C. Applicant's Narrative
- D. Building Elevations
- E. Received Comments

Acronyms

| | |
|------|---|
| ADC | Albany Development Code |
| ADT | Average Daily Trip |
| AMC | Albany Municipal Code |
| FEMA | Federal Emergency Management Administration |
| FIRM | Flood Insurance Rate Map |
| ITE | Institute of Transportation Engineers |
| LI | Light Industrial |
| RM | Residential Medium Density |
| SFHA | Special Flood Hazard Area |
| TIA | Traffic Impact Analysis |
| TSP | Transportation Systems Plan |

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Development Code regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. This proposal must be initiated within three years of the date of this letter of approval.

Building

The Building Division within Community Development has provided the following comments:

4. The proposed project may require permits that will need to be applied for at www.albanyoregon.gov/permits. For questions about permitting requirements, please email cd.customerservice@albanyoregon.gov.
5. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at time of application.

Engineering

6. The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.
7. An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030)

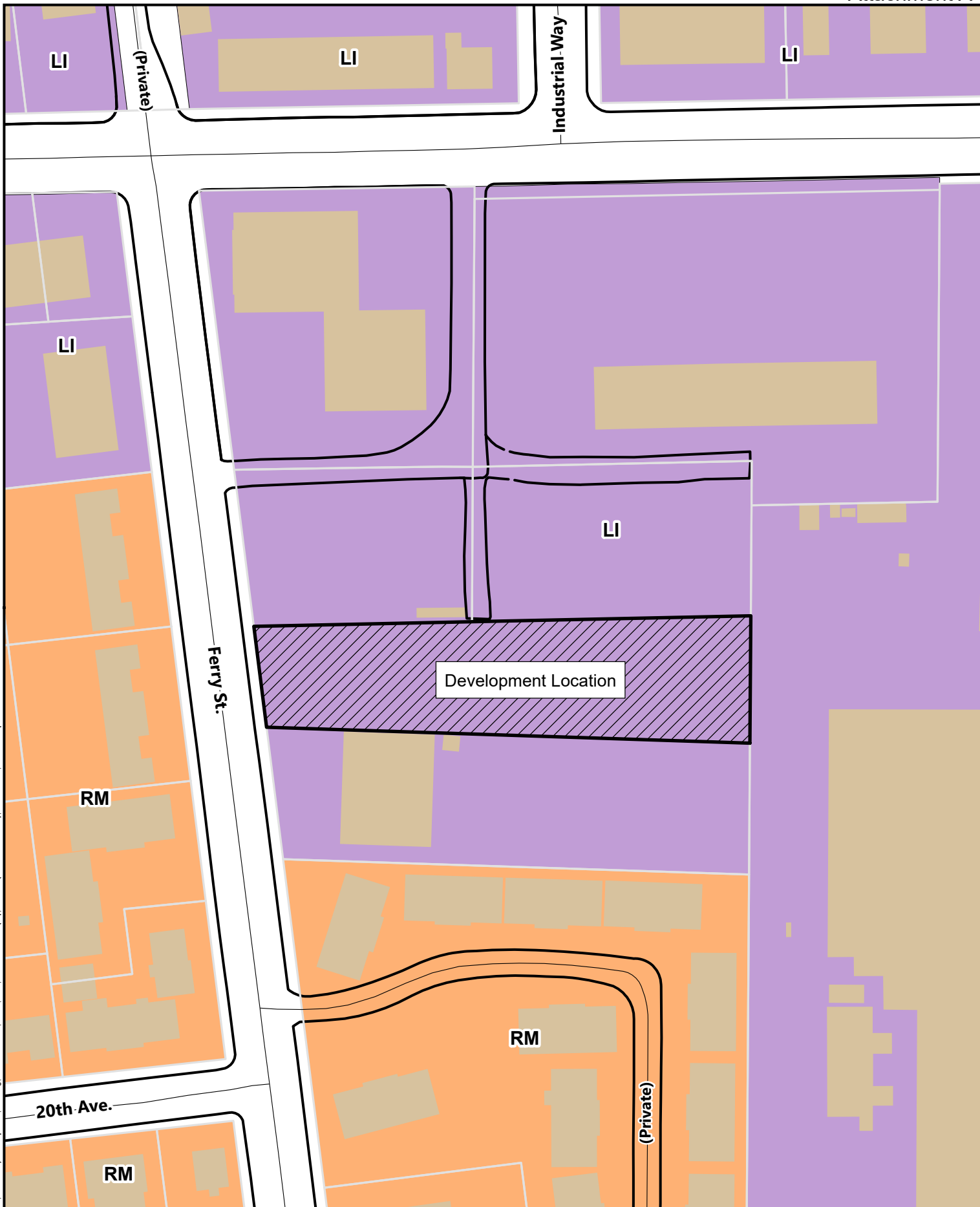
Fire

The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments.

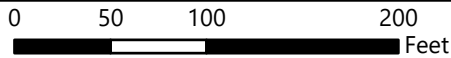
****NOTE: Addition of a private fire line will result in a quarterly Fire Line Fee****

**** Land Use permit will include a \$125 Fire Plans Review fee****

8. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an approved route of travel around the exterior of the structure with dead-end lengths not exceeding 150 feet long unless an approved turnaround is provided. (OFC 503.1.1, OFC 503.2.5 and OFC, Appendix D 103.4)
9. This proposed project is located within a "Protected Area" as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required shall be as specified in Appendix B of the fire code. (OFC 507.3)



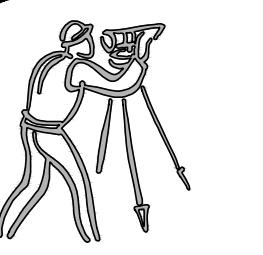
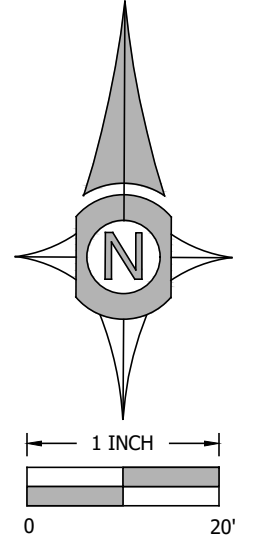
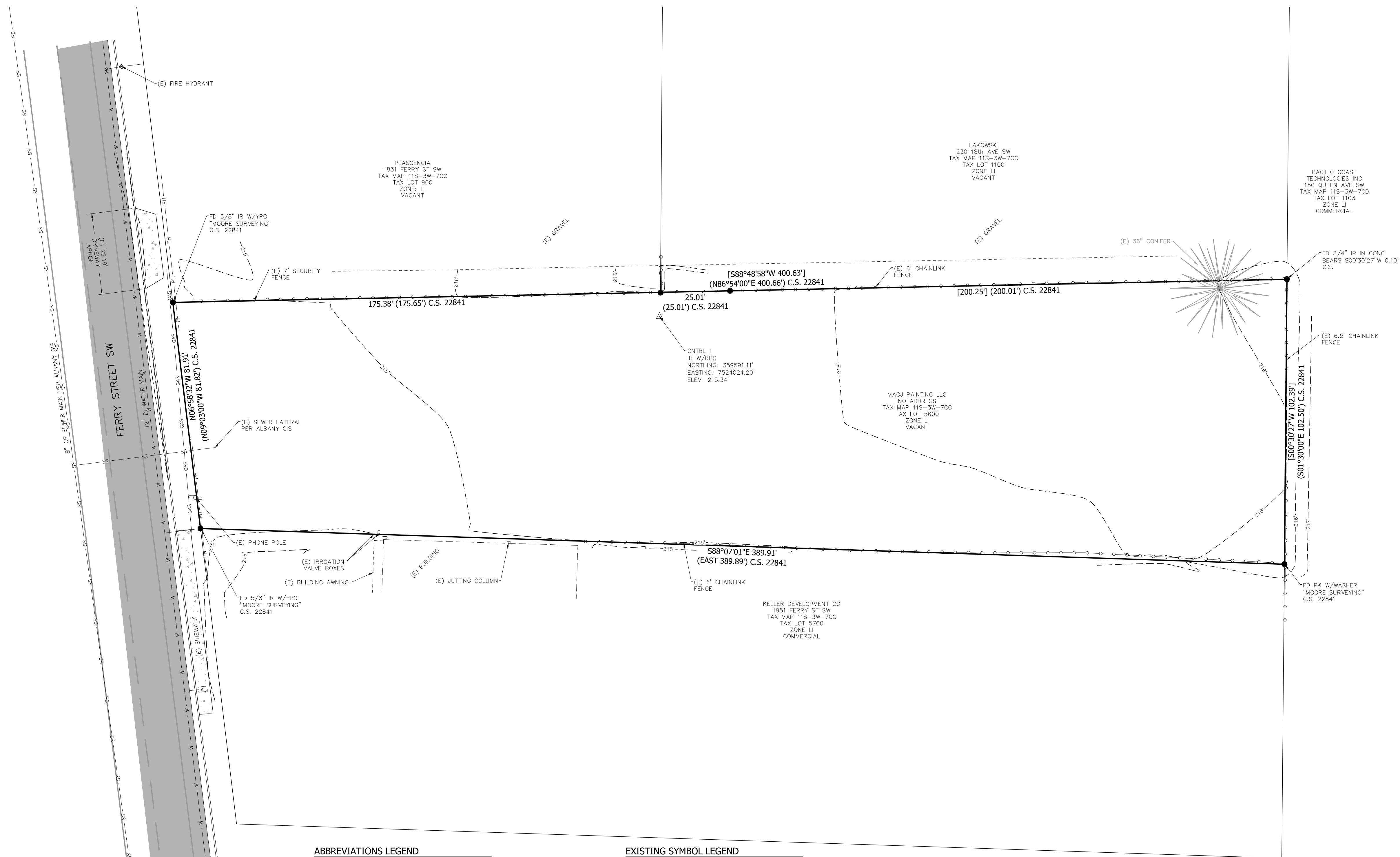
G:\Community Development\Planning Land Use Cases\2024\Site Plan Review (SP)\SP-21-24\1503\NOTICE\Public Notice Location Map.mxd



Unassigned; Ferry Street SW

Date: 6/24/2024 Map Source: City of Albany

Location Map



CLIENT:
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 6327 MEGAN STEET NE
 ALBANY, OR 97321
 (541) 979-8302
 MACPAINTINGLLC@GMAIL.COM

UELLE ENGINEERING AND LAND SURVEYING, LLC
 63 EAST ASH ST.
 LEBANON, OREGON 97355
 (541) 451-5125 PH.
 (541) 451-1366 FAX

EXISTING CONDITIONS/DEMO PLAN
MACARIO FERRY ST GARAGE
SITE PLAN REVIEW
 11S-03W-7CC 5600
 ALBANY, OR 97321

DATE: JULY 17, 2024
 PROJECT: 22-350 MACARIO SITE PLAN
 DRAWN BY: NDJ, MLN, ECH
 CHECKED BY: BSV

- ABBREVIATIONS LEGEND**
- (E) - EXISTING
 - CONC - CONCRETE
 - CS - COUNTY SURVEY
 - FD - FOUND
 - FF - FINISH FLOOR
 - FH - FIRE HYDRANT
 - IE - INVERT ELEVATION (FLOW LINE)
 - IR - IRON ROD
 - IP - IRON PIPE
 - OPC - ORANGE PLASTIC CAP
 - PP - PARTITION PLAT
 - PUE - PUBLIC UTILITY EASEMENT
 - RPC - RED PLASTIC CAP
 - R/W - RIGHT-OF-WAY
 - SS - SANITARY SEWER
 - SD - STORM DRAIN
 - SQ FT - SQUARE FEET
 - TFC - TOP FACE OF CURB
 - TOP - TOP OF PIPE
 - W/ - WITH
 - YPC - YELLOW PLASTIC CAP

- EXISTING SYMBOL LEGEND**
- - FOUND MONUMENT AS NOTED
 - △ - (E) CONTROL
 - ☉ - (E) POWER POLE
 - ☼ - (E) TREE EVERGREEN
 - ⊕ - (E) WATER FIRE HYDRANT
 - Ⓜ - (E) WATER METER
 - ⊗ - (E) WATER VALVE
 - ▒ - (E) CONCRETE
 - ▓ - (E) GRAVEL
 - - (E) PAVEMENT
 - - (E) CHAINLINK FENCE
 - W—W—W— - (E) WATER LOCATE PAINT
 - PH—PH— - (E) PHONE LOCATE PAINT
 - GAS—GAS— - (E) GAS LINE LOCATE

PROJECT VERTICAL DATUM -- NGVD 29
 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. THE VERTICAL BENCHMARK USED FOR ESTABLISHING ELEVATIONS IS LINN COUNTY GPS CONTROL POINT 93262 LOCATED AT THE INTERSECTION OF 20TH AVE AND FERRY ST. CONTRACTOR IS TO NOTIFY ENGINEER/SURVEYOR TWO WORKING DAYS PRIOR TO DISTURBING EXISTING SURVEY MONUMENT(S). SURVEYOR IS TO RESTORE PER COUNTY SURVEYOR REQUIREMENTS AND ORS 209.150.

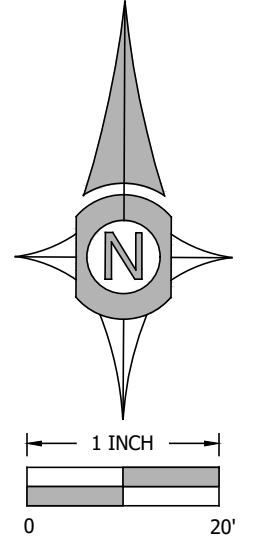
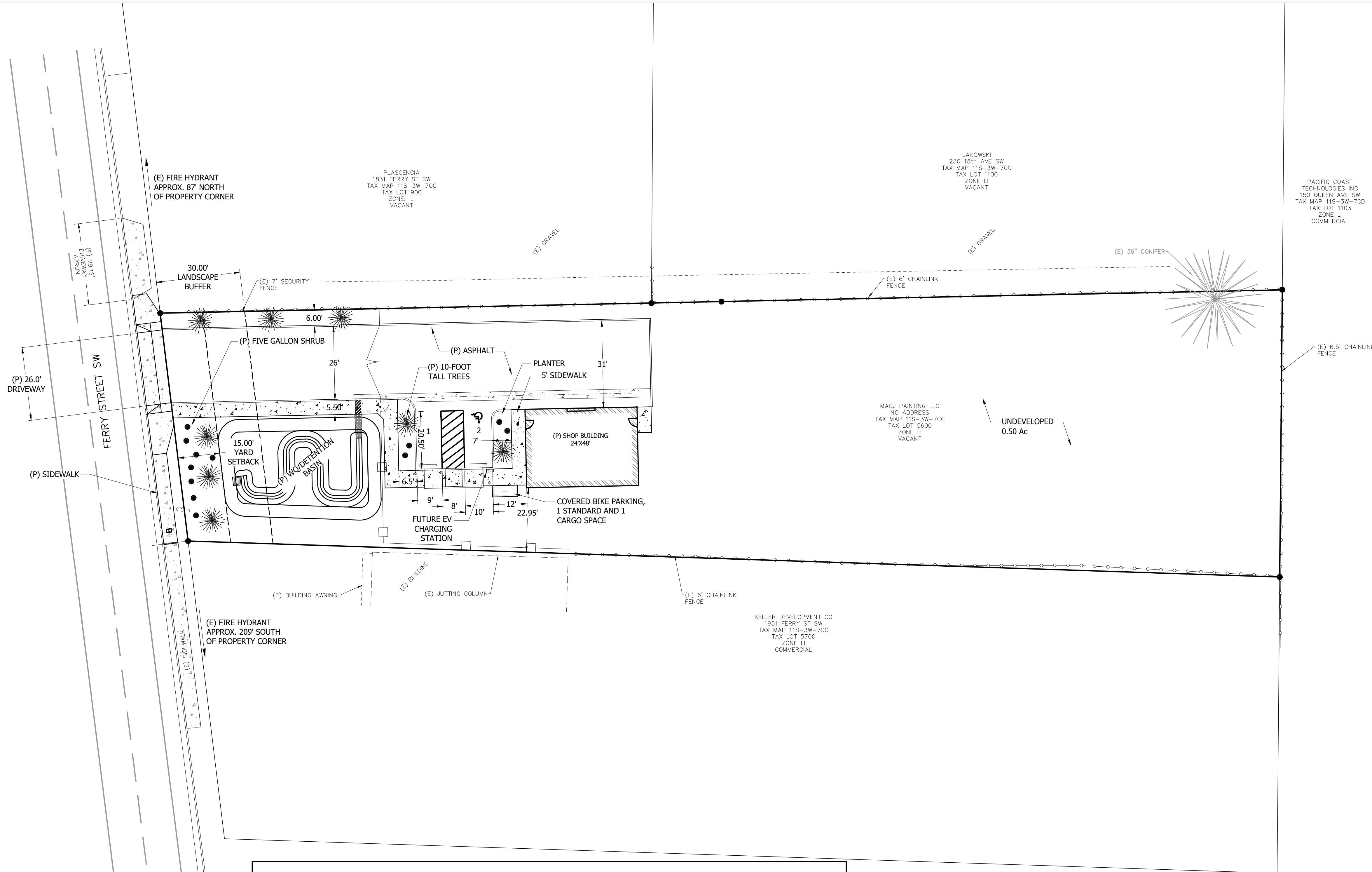
ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

| PLAN REVISIONS | DATE |
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| | |

THIS MAP WAS PREPARED FOR PLANNING PURPOSES ONLY

Sheet **C1.0**
 SCALE: SEE BARSCALE



PROPERTY
 TAX MAP: 11S-03W-07CC
 TAX LOT: 5600
 SITE ADDRESS: VACANT
 ALBANY, OR
 GROSS AREA: 0.83 ACRES
 NO STRUCTURES OR IMPERVIOUS SURFACES ON SITE

OWNER/DEVELOPER
 JOSE MACARIO
 6327 MEGAN STREET NE
 ALBANY, OREGON 97321
 (541) 979-8302
 MACPAINTINGLLC@GMAIL.COM

DESIGN TEAM
CIVIL ENGINEER
 UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 E. ASH STREET
 LEBANON, OREGON 97355
 (541) 451-5125

SURVEYOR
 UDELL ENGINEERING AND LAND SURVEYING, LLC
 63 E. ASH STREET
 LEBANON, OREGON 97355
 (541) 451-5125

PROJECT DATA
 PROPOSED IMPERVIOUS AREA
 PARKING LOT/BUILDING 4795 SF

CLIENT:
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PRELIMINARY SITE PLAN
MACARIO FERRY ST GARAGE
SITE PLAN REVIEW
11S-03W-7CC 5600
ALBANY, OR 97321

DATE: JULY 17, 2024
 PROJECT: 22-350 MACARIO SITE PLAN
 DRAWN BY: NDJ, MLM, ECH
 CHECKED BY: RSV

THIS MAP WAS PREPARED FOR PLANNING PURPOSES ONLY

STREET SIDE LANDSCAPE 1638 SF

TREES

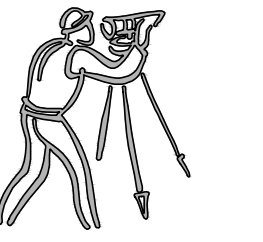
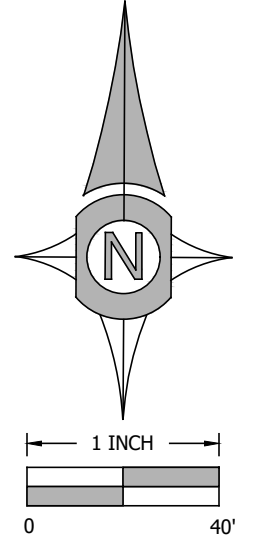
| SYMBOL | ID | BOTANIAL NAME COMMON NAME | E/D | HEIGHT | WIDTH | O.C. | QTY. | CONTAINER SIZE | OVERHEAD UTILITIES WIRES | COMMENT |
|--------|----|-----------------------------|-----|--------|-------|------|------|----------------|--------------------------|---|
| | DW | CORNUS KOUSA DOGWOOD, KOUSA | D | 20 FT | 20 FT | N/A | 8 | 2"-CAL | YES | LOW BRANCHING, THE KOUSA HYBRID SELECTIONS ARE THE BEST CHOICES, CONSTELLATION, AURORA, AND STELLAR PINK. ALL ARE RESISTANT TO ANTHRACNOSE. |

SHRUBS

| SYMBOL | ID | BOTANIAL NAME COMMON NAME | ZONE | E/D | AREA | O.C. | QTY. | CONTAINER SIZE | COMMENT |
|--------|-----|---|------|-----|------|------|------|----------------|---------|
| | RHA | ANAH KRUSCHKE RHODODENDRON RHODODENDRON 'ANAH KRUSCHKE' | N/A | E | N/A | N/A | 12 | 5 GALLON | = |

| PLAN REVISIONS | DATE |
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| | |

Sheet **C1.1**
 SCALE: SEE BARSCALE



CLIENT:
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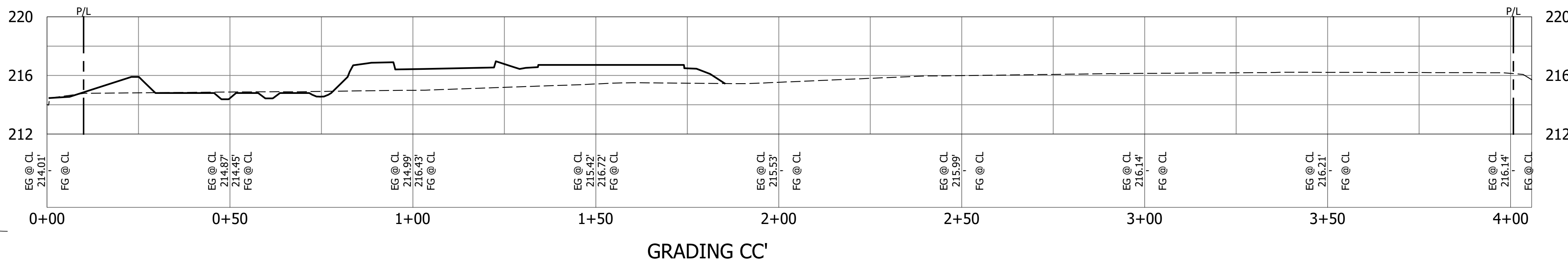
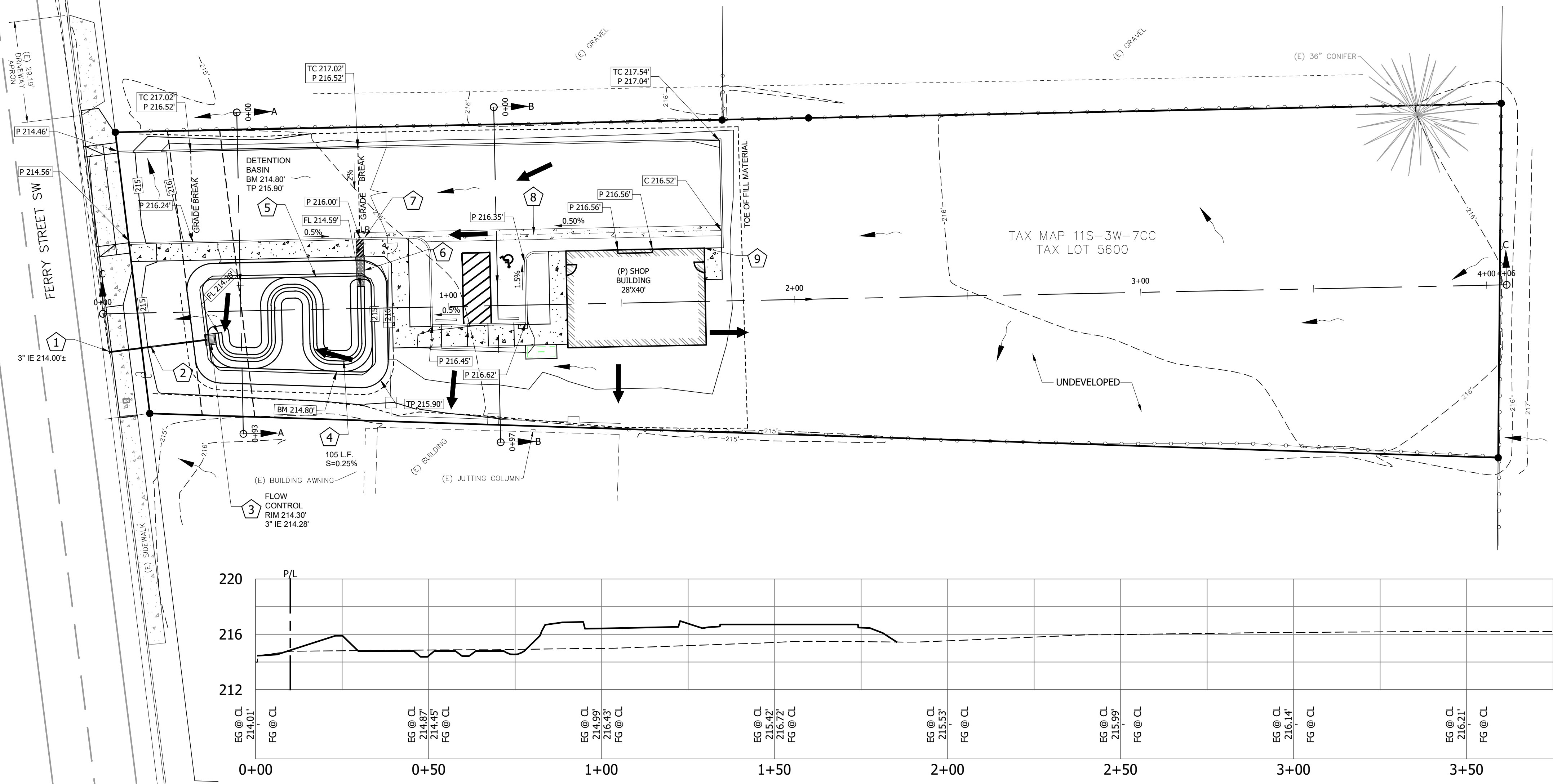
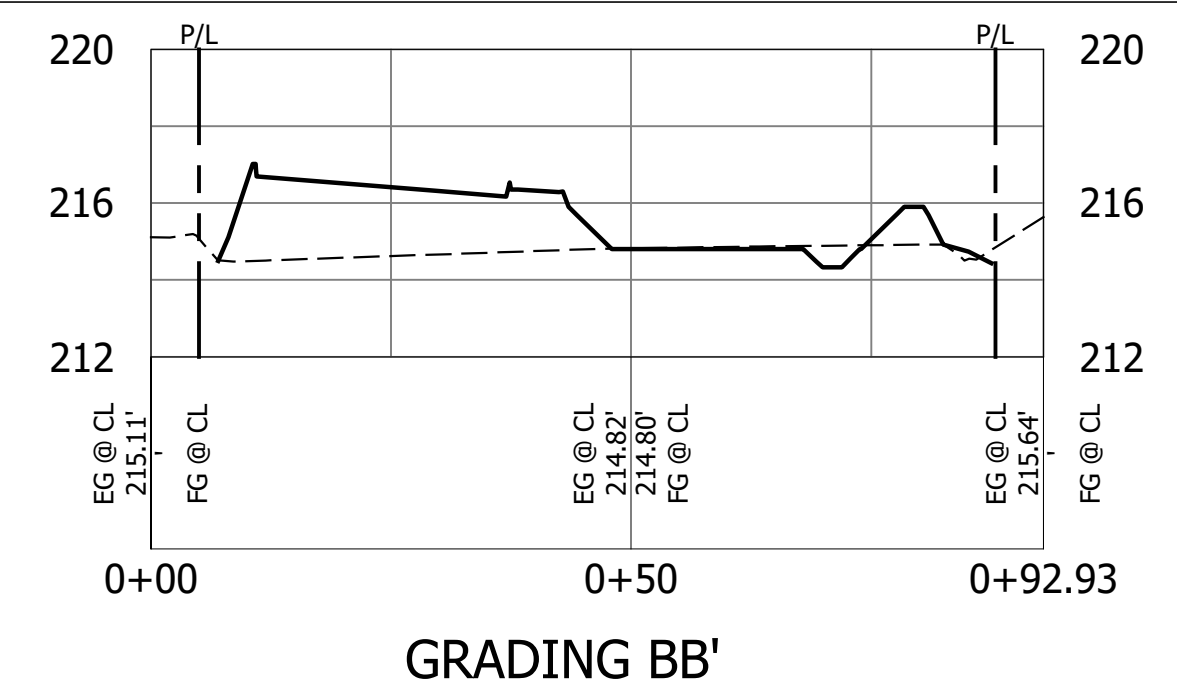
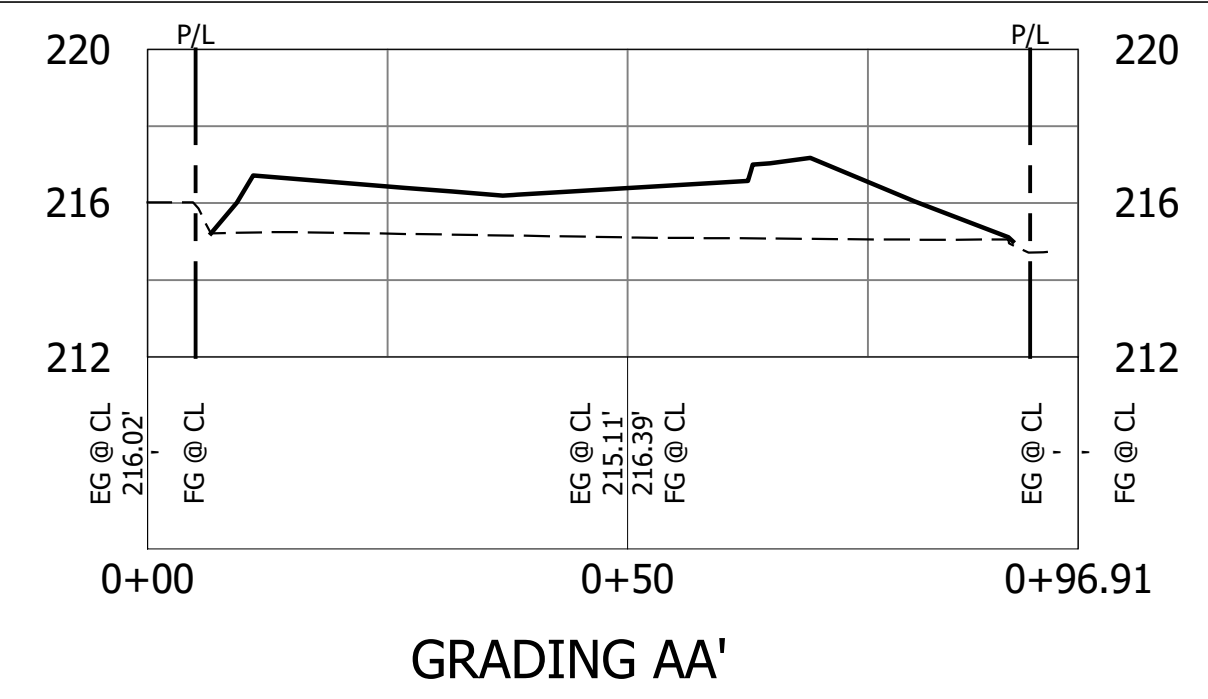
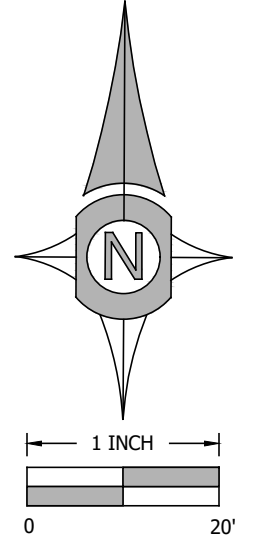
**CONCEPTUAL SITE DISTANCE
 MACARIO FERRY ST GARAGE
 SITE PLAN REVIEW
 11S-03W-7CC 5600
 ALBANY, OR 97321**

DATE: JULY 17, 2024
 PROJECT: 22-350 MACARIO SITE PLAN
 DRAWN BY: NDJ, MLM, ECH
 CHECKED BY: RSV

THIS MAP WAS
 PREPARED FOR
 PLANNING
 PURPOSES ONLY

| PLAN REVISIONS | DATE |
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Sheet **C1.4**
 SCALE: SEE BARSCALE

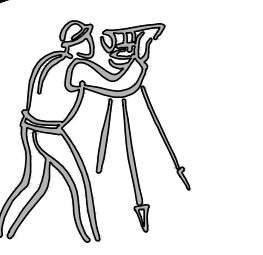


GRADING LEGEND

- 362 — EXISTING SURFACE CONTOUR ELEVATION
- EXISTING SURFACE DRAIN DIRECTION
- DESIGN SURFACE DRAIN DIRECTION
- HP - HIGH POINT
- LP - LOW POINT

CONCEPTUAL STORMWATER MANAGEMENT NOTES

- 1 PROPOSED PUBLIC WEEP HOLE IN EXISTING CURB
- 2 PROPOSED PUBLIC/PRIVATE 4" STORM DRAIN PIPE.
- 3 PROPOSED PRIVATE DITCH INLET.
- 4 PROPOSED PRIVATE WATER QUALITY SWALE.
- 5 PROPOSED PRIVATE STORMWATER DETENTION POND.
- 6 PROPOSED RIP RAP BLANKET.
- 7 PROPOSED CURB INLET WITH GRATED CHANNEL THROUGH SIDEWALK.
- 8 PROPOSED CONCRETE VALLEY GUTTER.
- 9 PROPOSED DOWNSPOUTS TO PARKING.



CLIENT:
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 MACPAINTINGLLC@GMAIL.COM

UDELL ENGINEERING AND LAND SURVEYING, LLC
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 (541) 451-5125 PH.
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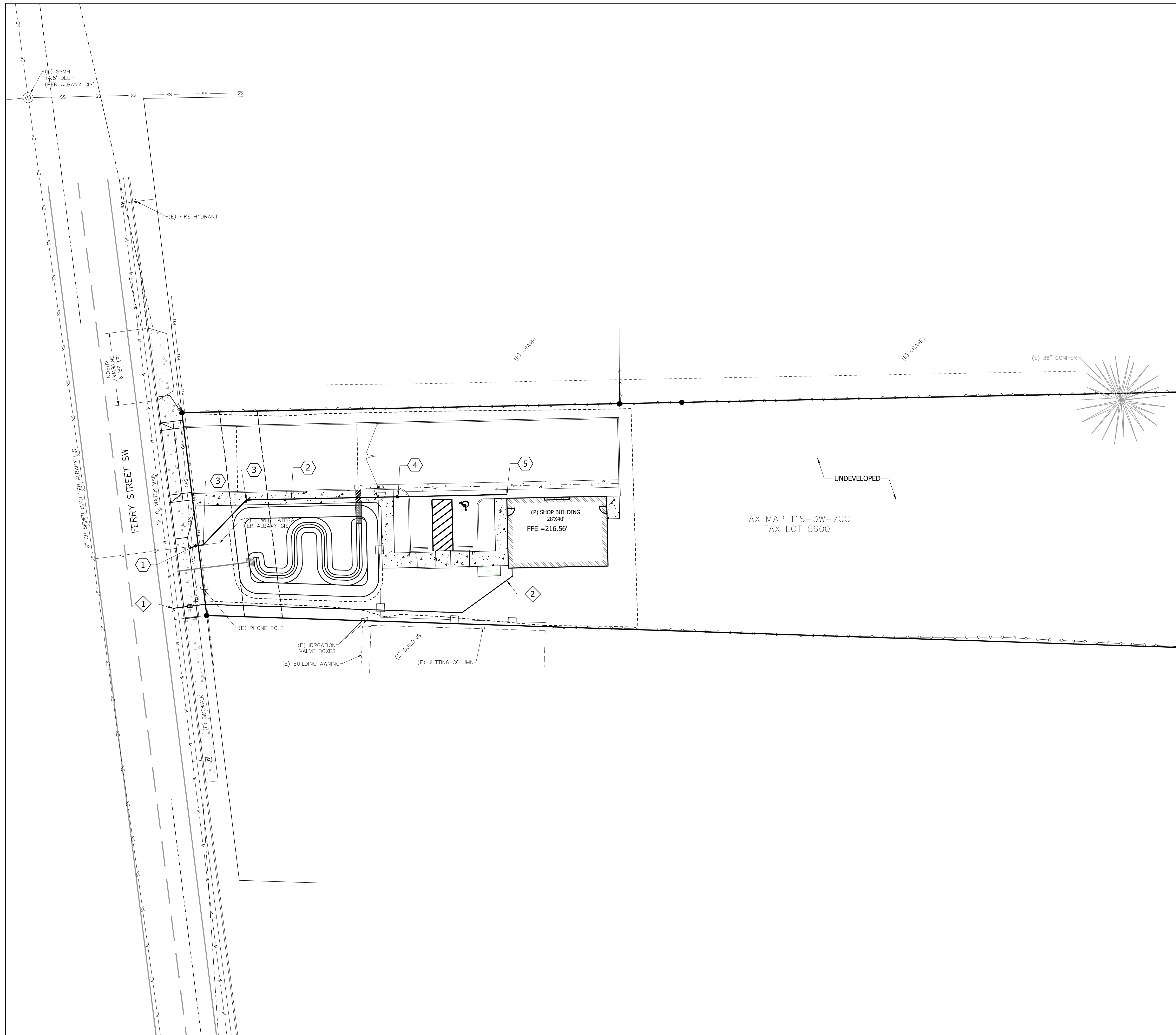
PRELIMINARY GRADING & DRAINAGE PLAN
MACARIO FERRY ST GARAGE
SITE PLAN REVIEW
11S-03W-7CC 5600
ALBANY, OR 97321

DATE: JULY 17, 2024
 PROJECT: 22-350 MACARIO SITE PLAN
 DRAWN BY: NDI, MLN, ECH
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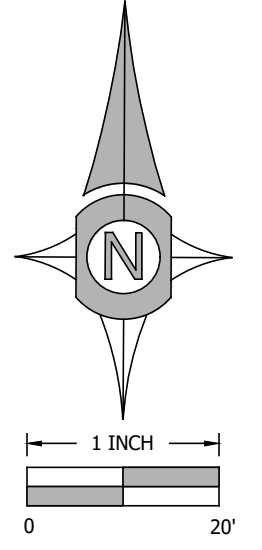
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| PLAN REVISIONS | DATE |
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Sheet **C2.0**
 SCALE: SEE BARSCALE



- | SEWER NOTES | |
|-------------|--|
| 1 | PROPOSED CONNECTION TO EXISTING SEWER LATERAL. |
| 2 | PROPOSED 4" PRIVATE PVC SEWER PIPE. |
| 3 | PROPOSED PRIVATE 45° BEND. |
| 4 | PROPOSED PRIVATE SANITARY SEWER CLEAN OUT. |
| 5 | PROPOSED PRIVATE SANITARY SEWER SERVICE TO WITH IN 5.0 FEET OF BUILDING. |
-
- | WATER NOTES | |
|-------------|---|
| 1 | PROPOSED PUBLIC 1" WATER SERVICE LINE, FITTINGS AND METER BOX ASSEMBLY. |
| 2 | EXTEND PRIVATE DOMESTIC WATER SUPPLY TO THE BUILDING. |



CLIENT:
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 (541) 451-1366 FAX

**PRELIMINARY UTILITY PLAN
 MACARIO FERRY ST GARAGE
 SITE PLAN REVIEW
 11S-03W-7CC 5600
 ALBANY, OR 97321**

DATE: JULY 17, 2024
 PROJECT: 22-350 MACARIO SITE PLAN
 DRAWN BY: NDJ, MLM, ECH
 CHECKED BY: BSJ

THIS MAP WAS PREPARED FOR PLANNING PURPOSES ONLY

| PLAN REVISIONS | DATE |
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Sheet **C3.0**
 SCALE: SEE BARSCALE

SITE PLAN REVIEW APPLICATION

| | |
|---------------------------------|--|
| Submitted to: | City of Albany Planning Division P.O. Box 490 Albany, Oregon 97321-0144 541-917-7550 cd.customerservice@cityofalbany.net |
| Applicants/Property Owners: | MACJ Painting LLC c/o Jose Macario 6327 Megan Street NE Albany, OR 97321 (541) 979-8302 macjpaintingllc@gmail.com |
| Applicant's Representative: | Udell Engineering and Land Surveying, LLC 63 E. Ash Street Lebanon, OR 97355 Contact: Laura LaRoque Email: laura@udelleng.com Phone: (541) 990-8661 |
| Site Location: | Unassigned Address |
| Linn County Assessor's Map No.: | 11S-03W-07CC Tax Lot 5600 |
| Site Size: | ±0.83-acres |
| Existing Land Use: | Unimproved |
| Zone Designation: | Light Industrial (LI) District |
| Comprehensive Plan Designation: | Light Industrial |
| Surrounding Zoning: | North: LI South: LI East: LI West: RM (across Ferry Street SW) |
| Surrounding Uses: | North: Industrial South: Industrial East: Industrial West: Residential Multi-Family |



22-350 Macario
11S-03W-07CC TAX LOT 5600
Site Plan Review Application

June 17, 2024
Page 1 of 16

I. Executive Summary

The proposal is an application Site Plan Review to construct a 1,152 square foot (24' X 48') commercial building and associated site and parking lot improvements for MCAJ Painting LLC. The purpose of the proposed building is for storage of vehicles and equipment associated with the painting business.

The site is ±0.83 acres in size and located east of Ferry Street, between Queen Avenue and 20th Avenue. The site is zoned Light Industrial (LI) with a Light Industrial Comprehensive Plan designation.

The following criteria are addressed in this report: Site Plan Review criteria contained in Albany Development Code (ADC) 2.450. These criteria must be satisfied to grant approval for this application.

In summary, the proposed development application satisfies applicable review criteria; therefore, the applicant requests approval of the Site Plan Review application.

II. Analysis of Development Code Criteria

Section 2.450 of the ADC includes the following review criteria, which must be met for this application to be approved. Development code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Criterion 1

The application is complete in accordance with the applicable requirements.

Findings of Fact and Conclusions

1.1 The application includes the submittal requirements outlined in ADC 1.160(1) and will therefore, be deemed complete in accordance ADC 1.160, upon the submittal date.

1.2 This criterion is met without conditions.

Criterion 2

The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.

Findings of Fact

2.1 Zoning. The proposal includes the construction of a 1,152 square foot (24' X 48') commercial building together with associated site and parking lot improvements on the subject property. The 0.83-acre property is located east of Ferry Street at Linn County Tax Assessor's Map no. 11S-03W-07CC Tax Lot 5600 and is zoned Light Industrial (LI).

2.2 The proposed building is intended for storage of vehicles and equipment associated with a painting contractor. Pursuant to the ADC 4.050 Schedule of Permitted Uses and Table

4.050-1, contractors and industrial services is an allowed use in the LI zone with Site Plan Review

- 2.3 Lot Size, Dimensional Requirements, and Lot Coverage. Table 4.090-1 within the ADC contains the development standards for the LI zoning district. Pursuant to Table 4.090-1, the LI zoning district does not contain a minimum lot size, maximum lot size, width, or depth.
- 2.4 Front and Interior Setbacks. LI zoning district has a minimum front setback of 15-feet except when adjacent to or across the street from residentially zoned land then the minimum setback is 1-foot for each foot of building height over 30-feet. There are no minimum interior setbacks except for when abutting a residential district then the minimum interior setback is 40-feet.

The subject property is across the street from residential zoned property and abuts properties zoned light industrial. As shown on the site plan, the setbacks of the proposed commercial buildings and parking lot improvements will be greater than the minimum described above.

- 2.5 Building Height. Per ADC Table 4.090-1, there is no maximum building height in the LI zoning district unless the property is within the Airport Overlay District.
- 2.6 Landscaping, Buffering, and Screening. See finding under Criterion Six below pertaining to Article 9 landscaping, buffering, and screening standards are incorporated herein by reference.
- 2.7 Outside Storage. Outside storage and display is not proposed with this application. Therefore, the standards of ADC 4.290 are not applicable.
- 2.8 Screening of Refuse Containers. ADC 4.300 requires any refuse container or disposal area that would otherwise be visible from a public street, customer or resident parking area, public facility, or any residential area must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least six feet tall. All refuse materials must be contained within the screened area.

Refuse container(s) will be stored within the proposed structure; therefore, the standards of ADC 4.300 are not applicable.

Conclusions

- 2.1 The proposed use is allowed in the LI zoning district with site plan approval.
- 2.2 The proposal meets all applicable development standards.
- 2.3 This review criterion is met without conditions.

Criterion 3

Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Findings of Fact

- 3.1 Article 6 Significant Natural Vegetation and Wildlife Habitat. *Comprehensive Plan Plate 3: Natural Vegetation and Wildlife Habitat*, does not show any areas of vegetation or wildlife habitat on the property.
- 3.2 Article 6: Floodplains. *Comprehensive Plan Plate 5: Floodplains*, FEMA/FIRM Community Panel No. 41043C0526G, dated September 29, 2010, shows the subject property located Zone X, an area determined to be outside the Special Flood Hazard Area.
- 3.3 Article 6: Wetlands. *Comprehensive Plan Plate 6: Wetland Sites*, shows this property has no significant wetland overlay districts on the subject property.
- 3.4 Article 6: Topography. *Comprehensive Plan, Plate 7: Slopes*, does not show any steep slopes on this property.
- 3.5 Article 7: Historic and Archaeological Resources. *Comprehensive Plan, Plate 9: Historic Districts*, shows the property is not located in a historic district. There are no known archaeological sites on the property.

Conclusions

- 3.1 The subject property is not located in any special purpose (overlay) districts; therefore, the special purpose districts and regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), are not applicable.
- 3.2 This criterion is met without conditions.

Criterion 4

The application complies with all applicable Design Standards of Article 8.

Findings of Fact

- 4.1 Applicability. According to ADC 8.315, design standards only apply to new development and to the expansion of existing developments where commercial and/or institutional uses, as defined in Article 22, are existing or proposed. Design standards for industrial uses are not applicable.

The proposed use is Contractors and Industrial Services, which is listed in ADC 22.030 under the industrial use category.

Conclusion

- 4.1 Contractors and Industrial Services are listed in ADC 22.030 under the industrial use category, which are not subject to design standards.

Criterion 5

The application complies with all applicable Design Standards of Article 10

Findings of Fact and Conclusion

- 5.1 Article 10 pertains to manufactured homes, manufactured home parks, and RV parks. None of these uses are proposed in association with this development.
- 5.2 This standard is not applicable.

Criterion 6

The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Findings of Fact

- 6.1 The proposal includes the construction of a 1,152 square foot (24' X 48') commercial building together with associated site and parking lot improvements on the subject property. The proposed building is intended for storage of vehicles and equipment associated with a painting contractor. Pursuant to the ADC 4.050 Schedule of Permitted Uses and Table 4.050-1, contractors and industrial services is an allowed use in the LI zone with Site Plan Review

- 6.2 Vehicle Parking. Table 9.020-1 depicts the maximum number of permitted vehicle parking spaces by use classification.

Contractor and Industrial service uses are permitted a maximum of one vehicle parking spaces per 1.25 employees plus one vehicle parking spaces per company vehicle. In this case, there will be no on-site employees. There are a total of seven employees and two work vans total, but the painting business is mobile in nature. The proposed structure will be used to store the two work vehicles. The two employees that drive the work vans every day will leave their personal vehicles in the proposed structure during the day. Therefore, no on-site employee parking spaces are necessary. However, two vehicle parking spaces are proposed in association with this development.

- 6.3 Bicycle Parking. Table 9.030-1 depicts the required number of bicycle parking spaces by use classification.

Contractor and Industrial services are required to have the greater of two spaces, or 0.20 per 1,000 square feet of sales floor area. At least 50 percent of the required bicycle parking spaces must be covered. Bicycle parking spaces and access dimensions must comply with the standards in Table 9.030-2, except that at least 25 percent of bicycle parking spaces must be 3 feet wide by 8 feet long, with a 5-foot-wide access aisle. Two bicycle parking spaces (one of which accommodates a cargo sized bicycle space) are proposed to the south of the parking lot sidewalk.

- 6.4 **Carpool/Vanpool Spaces.** ADC 9.035 states that When parking is provided, at least one standard-sized parking space shall be reserved for carpool/vanpool parking, or ten percent of employee-use parking spaces provided, whichever is greater. As noted above, there will be no on-site employees; therefore, carpool/vanpool parking is not necessary for the proposed storage use.
- 6.5 **Accessible Spaces.** ADC 9.040 states that Spaces compliant with the Americans with Disabilities Act (ADA) must be provided in accordance with ORS 477.233 when off-street parking is provided. One of the two proposed parking spaces is to be accessible.
- 6.6 **Electric Vehicle Charging Capacity.** ADC 9.050 states that pursuant to ORS 455.417, electrical service capacity sufficient for a level 2 electric vehicle charging station must be provided for no less than 20 percent of all new vehicle parking spaces for non-residential developments and no less than 25 percent of ADA spaces in non-residential developments.
- 6.7 **Loading Standards.** ADC 9.060 requires industrial uses to provide a minimum of 250 square feet of loading area for buildings of 10,000 to 20,000 square feet of gross floor area. The combined gross square footage of the proposed 1,152 square feet.

A loading space is not required since the gross floor area of the proposed development is less than 10,000 square feet.

- 6.8 **Parking Area Improvement Standards.** ADC 9.100 states that all public or private parking areas, loading areas and outdoor vehicle sales areas must be improved based on the following standards. When the total surface parking area for the development site exceeds 10,890 square feet, parking area improvements must comply with the standards in Section 9.135.
- a. ADC 9.100(1) All parking spaces must be improved in accordance with these standards and available for use at the time of project completion.
 - b. ADC 9.100(2) All parking areas shall conform to the setback, clear vision, landscaping, and buffering/screening provisions of this Code.
 - c. ADC 9.100(3) Surfacing. All required parking, including travel aisles and access, shall have a durable, dust-free surface of asphalt, cement concrete, or other materials approved by the Director.
 - d. ADC 9.100(4) All parking lots must provide a drainage system to dispose of the runoff generated by the impervious surface. Post-construction stormwater quality facilities are required per Title 12 of the Albany Municipal Code when applicable.
 - e. ADC 9.100(5) Perimeter curbing is required for protection of landscaped areas and pedestrian walkways, and to prevent runoff onto adjacent properties.
 - f. ADC 9.100(6) In parking areas over 1,000 square feet (contiguous) for residential dwellings, or parking areas of any size for all other uses, all parking stalls fronting a sidewalk, alleyway, street or property line shall provide a secured wheel bumper at

least six inches high and at least six feet long, set back from the front of the stall at least 2-1/2 feet, but no more than three feet. If the sidewalk is widened to seven feet six inches to allow for vehicle encroachment, no wheel bumpers are required.

- g. ADC 9.100(7) Turnaround. For parking areas that meet one of the thresholds in subsections (a) or (b), parking spaces must be located and served by an aisle or turnaround so that their use will require no backing movements or other maneuvering in a street right-of-way other than an alley. (a) Residential dwellings: Parking areas over 1,000 square feet (contiguous). Driveways that could provide additional tandem parking spaces are not included in this calculation. (b) All other development: Two or more parking spaces.
- h. ADC 9.100(8) Striping. Lots containing more than two parking spaces must have all the required spaces permanently and clearly striped. Stripes must be at least four inches wide. When motorcycle parking, compact, or handicapped parking spaces are provided, they shall be designated within the stall.
- i. ADC 9.100(9) Where an existing or proposed parking area is adjacent to a developed or undeveloped site within the same zoning district, any modifications to the parking areas must be designed to connect to the existing or future adjacent parking area.
- j. ADC 9.100(10) Parking lots over 1,000 square feet (contiguous) shall be landscaped according to the standards in Section 9.150.
- k. ADC 9.100(11) No more than 40 percent of parking spaces provided may be designated for compact cars. Compact spaces must be signed and/or the space painted with the words "Compact Car Only."
- l. ADC 9.100(12) All parking areas must provide accessible parking spaces in conformance with the Oregon Structural Specialty Code.
- m. ADC 9.100(13) Any lights provided to illuminate any public or private parking area or vehicle sales area must be arranged to reflect the light away from any abutting or adjacent properties. Any light source or lamp that emits more than 900 lumens (15-watt fluorescent / LED or 60-watt incandescent) shall be concealed or shielded with an Illumination Engineering Society of North America (IESNA) full cutoff style fixture with an angle not exceeding 90 degrees to minimize the potential for glare and unnecessary diffusion on adjacent property.
- n. ADC 9.100(14) Walkways and accessways shall be provided in all new off-street parking lots and additions to connect sidewalks adjacent to new development to the entrances of new buildings. All new public walkways and handicapped accessible parking spaces must meet the minimum requirements of the Oregon Structural Specialty Code.

As shown on the site plan, these standards are met.

6.9 Off-Street Parking Lot Design and Circulation.



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- a. ADC 9.120(1) All off-street parking lots over 1,000 square feet (contiguous) must be designed in accordance with the standards in this Article and the City standards for parking stalls and drive aisles as set forth in Table 9.120-1: Parking Lot Design and supplemental drawings in Figures 1 and 2.
- b. ADC 9.120(2) As used in this Article, driveways are major travel routes through a site that provide access to and from surrounding streets and connections through the site to buildings and parking lot drive aisles. Drive aisles primarily provide vehicular access to bordering parking spaces.
- c. ADC 9.120(3) Interior driveways shall meet the standards below unless the driveway is lined with angled or perpendicular parking stalls. Developments must provide street-like design and features along driveways including curbs, pedestrian facilities, and buildings built up to pedestrian facilities, including the following:
 - (a) Driveways shall continue the adjacent public street pattern wherever possible.
 - (b) Driveways must have raised curbs and a pedestrian facility with a minimum 5-foot-wide sidewalk on at least one side the entire length of the driveway, which is unobstructed by obstacles that would impede pedestrians, including overhanging cars.
 - (c) Street trees must be provided along driveways in accordance with Section 9.130 (3) and (4). Driveways must have a minimum of 6-foot-wide landscape strip on at least one side of the driveway. For the purposes of this standard, the portions of the linear length driveways that provide direct access to parking stalls are exempt from this standard but shall meet other landscape island and tree planting requirements of the Development Code.
 - (d) Traffic calming shall be provided through at least one of the following techniques:
 - i. Meandering the driveway to achieve a maximum design speed of 15 mph.
 - ii. Installing speed bumps or speed humps at a minimum interval of one every 300 feet of driveway. A minimum of one speed hump or speed bump must be provided if the driveway is less than 300 feet long.
 - iii. Providing parallel parking on at least one side for at least 50 percent of the length of the driveways.
 - iv. Planting trees on both sides along the full length of the driveway in accordance with the standards in ADC 9.240(1) to visually narrow the driveway.
 - (e) Pedestrian facility crossings at intersections with drive aisles and other driveways shall be demarcated by a raised surface that slows vehicular travel, or by different surface materials. Crossings demarcated only by striping are discouraged.
 - (f) Driveways shall not be located between the building(s) and the sidewalk(s), except as provided in (i) or (ii) below:
 - i. Where drive-through windows are permitted, sites are constrained by natural resources, or are infill sites less than one acre. [Ord. 5832, 4/9/14]
 - ii. Where drop-off facilities are provided that have been designed to meet the requirements of the Americans with Disabilities Act but that still provide for direct pedestrian circulation.
 - (g) Buildings shall be located along a pedestrian facility in the public right-of-way. Where a building cannot be located along a public right-of-way, it shall be built up to a pedestrian facility along an on-site driveway.

- d. ADC 9.120(4) Driveways for two-way traffic and emergency vehicle operations must be at least 24 feet wide. One-way driveways and one-way emergency vehicle access must be at least 20 feet wide. Drive aisle dimensions must comply with the standards in Table 9.120- 1.
- e. ADC 9.120(5) Parking stall and aisle dimensions must comply with Table 9.120-1. Stall dimensions are measured from inside the stripes. The design of driveways and on-site maneuvering and loading areas for commercial and industrial developments shall include 20 feet of storage length for entering and exiting vehicles, to prevent vehicles from backing into the flow of traffic on the public street or causing unsafe conflicts with on-site circulation. See also Figures 9.120-1 and 9.120-2.
- f. ADC 9.120(6) Compact spaces shall be at least 8 feet wide by 16 feet long.
- g. ADC 9.120(7) Accessible spaces shall be a minimum of 9 feet wide and 17 feet long and designed in accordance with the Oregon Structural Specialty Code (OSSC). An adjacent access aisle must be provided that is at least eight feet wide and 17 feet long for a van-accessible space, and six feet wide for a standard accessible space.
- h. ADC 9.120(8) Stall Width. Long-term parking spaces must be at least 8.5 feet wide. Parking stalls for grocery stores or adjacent planter islands must be at least 9.5 feet wide. Stall dimensions are measured from inside the stripes.

As shown on the site plan, these standards are met.

6.10 Surface Parking Areas.

- a. ADC 9.130(1) In addition to other provisions of Article 9, the following standards apply to new or improved surface parking areas of more than 0.25 acres (10,890 square feet), when existing parking areas are enlarged to more than 10,890 square feet, and when re-construction of a surface parking area of more than 0.25 acres is proposed (i.e., when pavement, curbs, and planter bays are completely replaced). Total surface parking areas are calculated by measuring around the perimeter of all parking spaces, maneuvering areas, and interior landscaping.

The proposed parking area is less than 0.25-acres; therefore, the standards of 9.130 are not applicable.

6.11 Street, Bicycle and Pedestrian Connectivity.

- a. ADC 9.133(3) Connectivity between sites. To promote connectivity and dispersal of traffic and efficient circulation between properties, new development may be required to provide street or driveway stubs and reciprocal access easements to, and for, adjacent properties.
- b. ADC 9.133(4) Pedestrian and bicycle connections required. Except where impractical, pedestrian, and bicycle connections shall be provided in the following locations: (a) Between an existing or planned transit stop and new development that is at, or within,

200 feet of the existing or planned transit stop. Development sites at major transit stops are also subject to subsection (5). (b) A direct and convenient pedestrian route shall be provided between the building's main entrance(s) and the nearest sidewalk abutting the site or roadway where there is no sidewalk. A direct and convenient bicycle route shall be provided between the bicycle parking and the nearest bicycle path abutting the site or roadway where there is no bicycle path. (c) Between the development site and abutting properties. Pedestrian and bicycle connections shall connect the onsite circulation system to existing or proposed walkways and bicycle routes, respectively, that abut the property. When abutting properties are undeveloped or have the potential to be redeveloped, accessways and walkways on site shall be laid out or stubbed to allow for an extension to the abutting property.

- c. ADC 9.133(5) Major Transit Stops. Except where impractical, sites at major transit stops shall provide the following: (a) Between the development site and abutting properties. Pedestrian and bicycle connections shall connect the onsite circulation system to existing or proposed walkways and bicycle routes, respectively, that abut the property. When abutting properties are undeveloped or have the potential to be redeveloped, accessways and walkways on site shall be laid out or stubbed to allow for an extension to the abutting property. [Ord. 5947, 1/1/21] (b) Either locate buildings within 20 feet of the transit stop, a transit street or an intersecting street or provide a pedestrian plaza at the transit stop or a street intersection; (c) A direct and convenient pedestrian connection between the transit stop and building entrances on the site; (d) A transit passenger landing pad accessible to disabled persons; Albany Development Code, Article 9 9 - 19 June 30, 2023 (e) An easement or dedication for a passenger shelter, if requested by the transit provider; and (f) Lighting at the transit stop.
- d. ADC 9.133(6) Pedestrian and bicycle connections standard. Pedestrian and bicycle accessways shall be constructed of concrete, asphalt, brick or masonry pavers, or other hard surfaces, and not less than five feet wide.

Vehicle and pedestrian routes are depicted on the site plan with a direct path of travel from the building entrance to public sidewalk.

- 6.12 Landscaping. ADC 9.140(2) requires that all required front and interior setbacks (exclusive of access ways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC 9.190 before an occupancy permit will be issued. Minimum landscaping acceptable for every 1,000 square feet of required setbacks in all commercial-industrial districts is as follows: (a) One tree at least six feet tall for every 30 feet of street frontage. (b) Five 5-gallon or eight 1-gallon shrubs, trees or accent plants. (c) The remaining area treated with suitable living ground cover, lawn, or decorative treatment of bark, rock, or other attractive ground cover. (d) When the yard adjacent to a street of an industrially zoned property is across a right-of-way from other industrially or commercially zoned property, only 30 percent of such setback area must be landscaped.

As stated previously, the only required setback is along Ferry Street, which is across the street from residential development. However, in this case the buffering standards supersede the provisions of ADC 9.140.

6.13 Parking Lot Landscaping.

- a. ADC 9.150(1) Planter Bays states that parking areas shall be divided into bays of not more than 12 parking spaces. At both ends of each parking bay, there shall be curbed planters at least six feet wide, excluding the curb. Gaps in the curb may be allowed for connections to approved post-construction stormwater quality facilities. Each planter shall contain one canopy tree at least 10 feet high and decorative ground cover containing at least two shrubs for every 100 square feet of landscape area. Neither planter bays nor their contents may impede access on required public sidewalks or paths, or handicapped-accessible parking spaces.
- b. ADC 9.150(2) Entryway Landscaping. Both sides of a parking lot entrance shall be bordered by a minimum five-foot wide landscape planter strip meeting the same landscaping provisions as planter bays, except that no sight-obscuring trees or shrubs are permitted.
- c. ADC 9.150(3) Parking Space Buffers. Parking areas shall be separated from the exterior wall of a structure by pedestrian walkways or loading areas or by a five-foot strip of landscaping materials.
- d. ADC 9.150(4) Stormwater Collection System. Vegetated post-construction stormwater quality facilities shall be considered as the initial stormwater collection system.
- e. ADC 9.150(5) Landscape Protection. Required landscaped areas adjacent to graveled areas must be protected, either by railroad ties secured by rebar driven 18 inches into the ground, by large boulders, or by another acceptable means of protection.

As shown on the site plan, a 7-foot and 12-foot parking lot landscaping bays will be provided adjacent to the parking stalls and a stormwater collection system will be provided between the front property line and east parking lot landscaping bay. The provided areas are sufficient to comply with the parking lot landscaping standards. A final landscaping plan will be provided in association with a building permit.

- 6.14 ADC 9.165 Irrigation of Required Landscaping. All required landscaped areas must be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman submits written verification that the proposed plants do not require irrigation. Irrigation systems installed in the public right-of-way require an encroachment permit. At the time of building permit submittal, it will be determined whether drought resistant plants will be installed or irrigation. A final irrigation plan, if necessary, will be provided in association with a building permit.

- 6.15 Buffering and Screening. Table 9.210-1, and ADC 9.240 requires a 30-foot-wide landscape buffering and screening when an industrial use abuts a dwelling or the RM zoning district.

In this case, the subject property is across the street from the residential zoned and developed property. Therefore, in accordance with ADC 9.210, buffer but not screening is required.

ADC 9.240 states: "The minimum improvements within a buffer consist of the following: (a) One row of trees. These trees will be not less than ten feet high at the time of planting for deciduous trees and spaced not more than 30 feet apart and five feet high at the time of planting for evergreen trees and spaced not more than 15 feet apart; (b) Five 5-gallon or ten 1-gallon shrubs, trees or accent plants for each 1,000 square feet of required buffer area; (c) The remaining area treated with suitable living ground cover, lawn, or decorative treatment of bark, rock, or other attractive ground cover."

The subject property has 81.79 feet of frontage along SW Ferry Street less 26 feet for access, which equates to 55.79 feet of frontage and 1,674 square feet of required landscaped buffer area. Thus, the landscaping requirements along Ferry Street are as follows: two deciduous trees at least ten feet tall or four evergreen trees at least 5 feet tall, eight (8) five-gallon shrubs or sixteen (16) one-gallon shrubs, and the remaining area treated with groundcover. The site plan indicates landscaping in the buffer area. Final landscaping and irrigation plans will be submitted in association with a building permit.

The site frontage is approximately 56 feet minus the driveway encroachment. Therefore, the minimum buffer landscaping is as follows: two six-foot-tall trees; eight 5-gallon shrubs or 17 1-gallon shrubs, trees or accent plants; and remaining area treated with suitable living ground cover, lawn, or decorative treatment of bark, rock, or other attractive ground cover. As shown on the site plan, the minimum landscaping requirements can be satisfied. A final landscaping plan will be provided in association with a building permit.

- 6.16 Screening of Refuse Containers. ADC 9.255 requires that any refuse container or disposal area that would otherwise be visible from a public street, customer or resident parking area, public facility, or any residential area must be screened from view by placement of a sight-obscuring fence, wall, or hedge at least six feet tall. All refuse materials must be contained within the screened area.

Refuse container(s) will be stored within the proposed structure; therefore, the standards of ADC 4.300 are not applicable.

- 6.17 Environmental Standards. ADC 9.440 - 9.500 includes environmental standards related to noise, visible emissions, vibrations, odors, glare, heat, insects, rodents, and hazardous waste. The design and operating characteristics of industrial buildings are comparable to other industrial operations in the vicinity and therefore no adverse environmental impacts are anticipated.

Conclusions

- 6.1 As proposed, all applicable Article 9 standards can be met.

Criterion 7

The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Findings of Fact

Public Street Access

- 7.1 The project is located east of Ferry Street. The proposal includes the construction of two 1,536 square foot commercial building and associated site and parking lot improvements.
- 7.2 ADC 12.060 requires that all streets within and adjacent new development be improved to city standards.
- 7.3 SW Ferry Street is classified as a major collector and is not fully improved to city standards along the frontage of the development site. Improvements include 66-foot-wide right-of-way and 52-foot-width curb-to-curb width. Curb, gutter, and curbside sidewalk are along the west side of Ferry Street and curb, gutter to the east; a vehicle travel lane in each direction; and on street parking and bike lanes.
- 7.4 As shown on the site plan, street frontage improvements will include the installation of a five-foot-wide curbside sidewalk along the frontage of the site.
- 7.5 Access to the site will be provided by one new driveway to Ferry Street. The driveways are shown on the proposed site plan as being 26 feet wide. ADC 12.100 allows 24-48-foot wide industrial driveway approaches.
- 7.6 Based upon ITE trip generation rates, the proposed use is estimated to generate a 1.97 trips per 1,000 square foot of gross floor area or 6 PM peak hour trips.
- 7.7 The development will not generate enough trips to require submittal of a trip generation analysis or Traffic Impact Analysis (TIA). The threshold for requiring submittal of a trip generation analysis is 50 peak hour trips. The threshold for submittal of a TIA is 100 peak hour trips.
- 7.8 Albany's Transportation System Plan (TSP) does not identify any capacity or safety issues occurring along the street frontages of this development.

Sanitary Sewer

- 7.9 City utility maps show an 8-inch public sanitary sewer main in Ferry Street.
- 7.10 AMC 10.01.010 (1) states that the objective of the Albany Municipal Code requirements pertaining to public sanitary sewers is to facilitate the orderly development and extension of the wastewater collection and treatment system, and to allow the use of fees and charges to recover the costs of construction, operation, maintenance, and administration of the wastewater collection and treatment system.
- 7.11 ADC 12.470 requires all new development to extend and/or connect to the public sanitary

sewer system if the property is within 300 feet of a public sewer line.

- 7.12 As shown in the utility plan, a connection to the public 8-inch main in Ferry Street is proposed.

Water

- 7.13 City utility maps show a 12-inch public water main in Ferry Street.
- 7.14 ADC 12.410 requires all new development to extend and/or connect to the public water system if the property is within 150 feet of an adequate public main.
- 7.15 As shown in the utility plan, a connection to the public 8-inch main in Ferry Street is proposed.

Storm Drainage

- 7.16 It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. Private drainage systems crossing multiple lots will require reciprocal use and maintenance easements and must be shown on the final plat. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.
- 7.17 ADC 12.570 states that development must use drainage management practices approved by the City Engineer to minimize the amount and rate of surface water run-off into receiving streams or drainage facilities or onto adjoining properties.
- 7.18 AMC 12.45.030 – 12.45.040 requires that a post-construction stormwater quality permit be obtained for all new development and/or redevelopment projects on a parcel(s) equal to or greater than one acre, including all phases of the development, where 8,100 square feet or more of impervious surface is created and/or replaced, cumulatively.
- 7.19 The applicant has submitted a preliminary drainage report that includes stormwater quality facilities. While the applicant's plan appears to be generally acceptable, final design and construction details must be reviewed and approved as part of the required stormwater quality permit.
- 7.20 As shown on the utility plan and described in the stormwater report, a stormwater drainage system with connection to public storm drainage system is proposed.

Conclusions

- 7.1 ADC 12.060 requires all public streets adjoining new development be improved to city standards. This site adjoins Ferry Street. Curbside sidewalks improvements are proposed along the frontage of the site.
- 7.2 Access to the site will be provided by a new driveway encroachment to Ferry Street. The site plan shows the approach as 26 feet wide.
- 7.3 The development will not generate enough trips to require submittal of a trip generation analysis or Traffic Impact Analysis (TIA).
- 7.4 Public utilities are available and adequate to serve the proposed development.
- 7.5 The applicant will obtain a stormwater quality permit for the project and construct stormwater quality facilities that meet the City's Engineering Standards.

Criterion 8

The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.

Findings of Fact and Conclusion

- 8.1 See findings in response to Criteria Two through Seven, above are incorporated by reference.

Criterion 9

The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Findings of Fact and Conclusion

- 9.1 See findings in response to Criteria Two through Seven, above are incorporated by reference.

Criterion 10

The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Findings of Fact and Conclusion

- 10.1 There is no prior land use decision associated with this site. This criterion is not applicable.

Criterion 11

Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Findings of Fact and Conclusion

- 11.1 The site is not considered nonconforming. This criterion is not applicable.



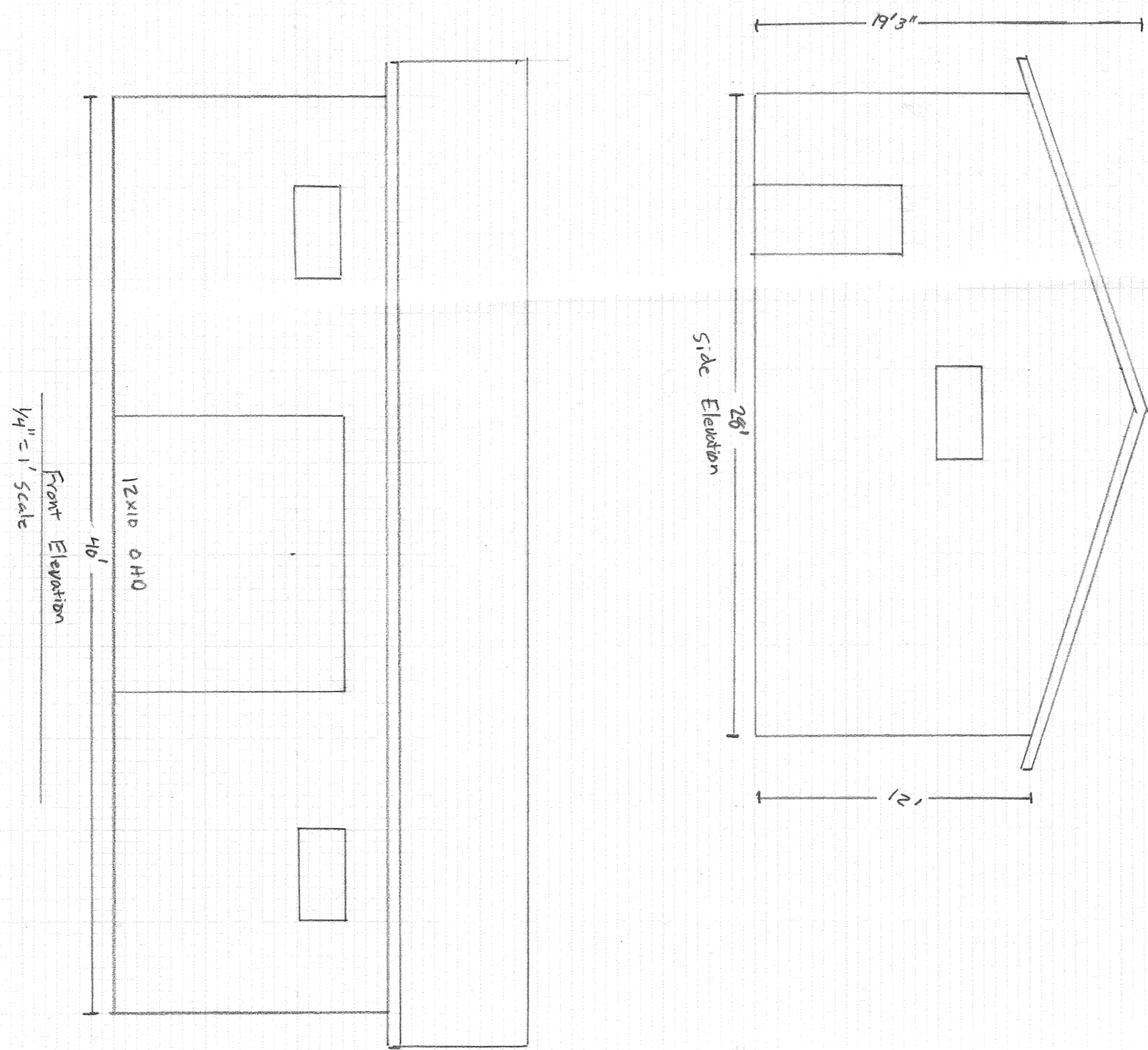
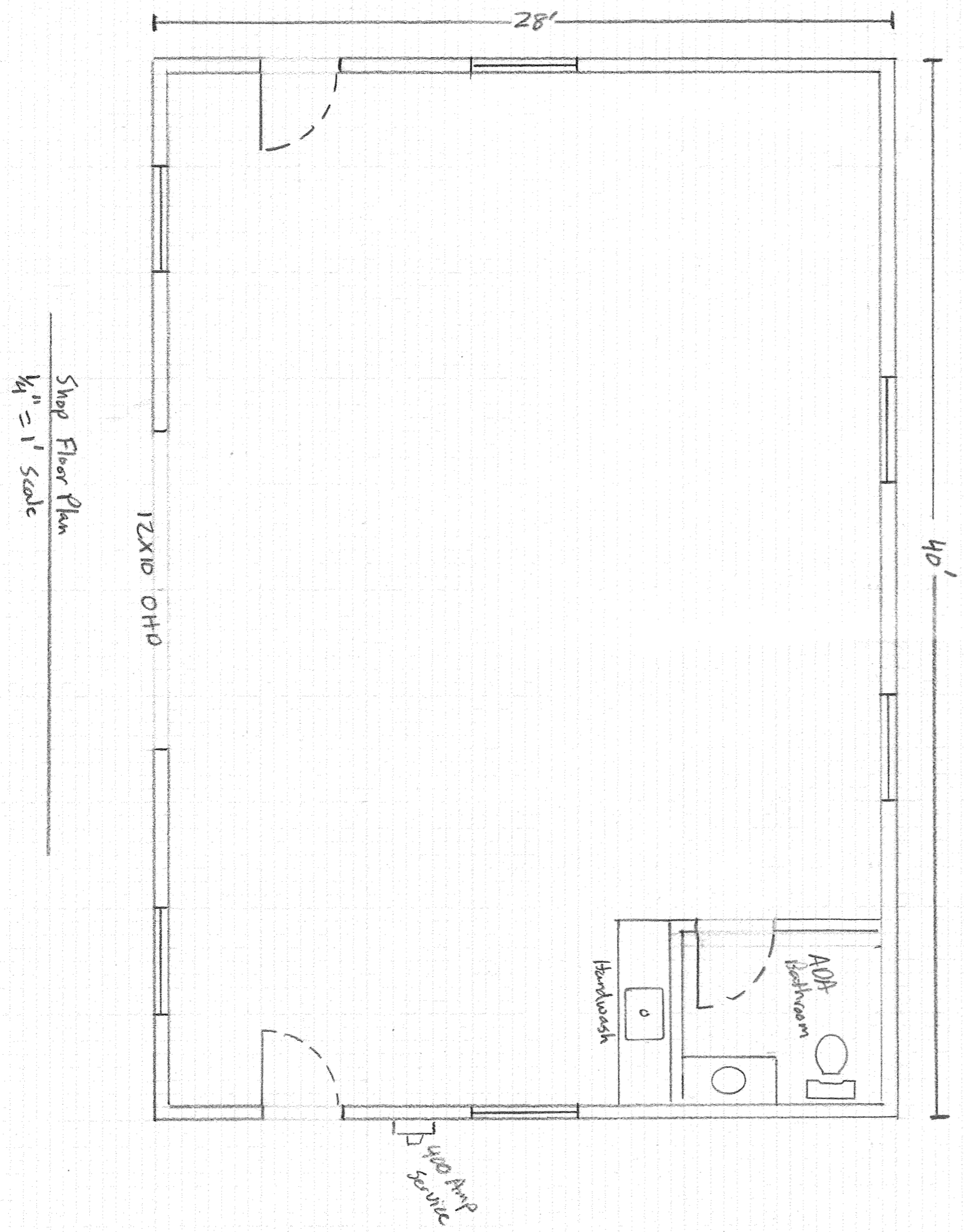
III. Overall Conclusion

Based on the above analysis, the proposed tentative site plan review application meets all the applicable review criteria as outlined above.

IV. Attachments

A. Plan Set

1. Existing Conditions, Sheet C1.0
2. Preliminary Site Plan, Sheet C1.1
3. Preliminary Site Distance, Sheet C1.4
4. Preliminary Grading and Drainage, Sheet C2.0
5. Preliminary Utility Plan, Sheet C3.0



Jennifer,

To reiterate my concerns from the conservation of July30,2024:

I own the property just to the south of the proposed development. There is a drainage swale that runs from the east to the west on our adjoining property line. It is my concern to not disturb this area, so as not to impede water flow in this area. It could cause flooding on both properties.

Thank you so much,

Rod Keller

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