



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Director's Notice of Disposition

SP-26-24

November 18, 2024

Application Information

Case:	Site Plan Review for parking lot reconstruction
Proposal:	Reconstruct 20,440 square feet of an existing parking area.
Property Owner:	Elijah List Ministries; 525 2nd Avenue SW, Suite 629, Albany, OR 97321
Applicant:	JDR General Contracting, LLC; PO Box 577, Albany, OR 97321
Address:	2110 Santiam Hwy SE, Albany, OR 97322
Map/Tax Lot:	Linn County Assessor: 11S-03W-08BA Tax Lots 7200, 7300, and 7400 and 11S-03W-08BD Tax Lot 100
Zoning:	Community Commercial (CC) and RC (Regional Commercial)
Comprehensive Plan:	Commercial - General
Overlay Districts:	Airport Approach Overlay
Total Land Area:	3.94 acres
Decision:	Based on the information submitted by the applicant and conclusions reached through City staff review (Exhibit A), it is the decision of the Current Planning Manager, as a designee of the Community Development Director, to approve the request subject to the conditions of approval.

November 18, 2024

Date of Decision

Signature on file

David Martineau
Current Planning Manager

Appeal Deadline: 5:00 p.m. on December 2, 2024

Approval Expiration Date (if not appealed): November 18, 2027

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC) **with an effective date of July 12, 2024**. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. Conditions of approval are attached to this notice. For more information, please contact Liz Olmstead, project planner, at 541-917-7640 or by email at liz.olmstead@albanyoregon.gov.

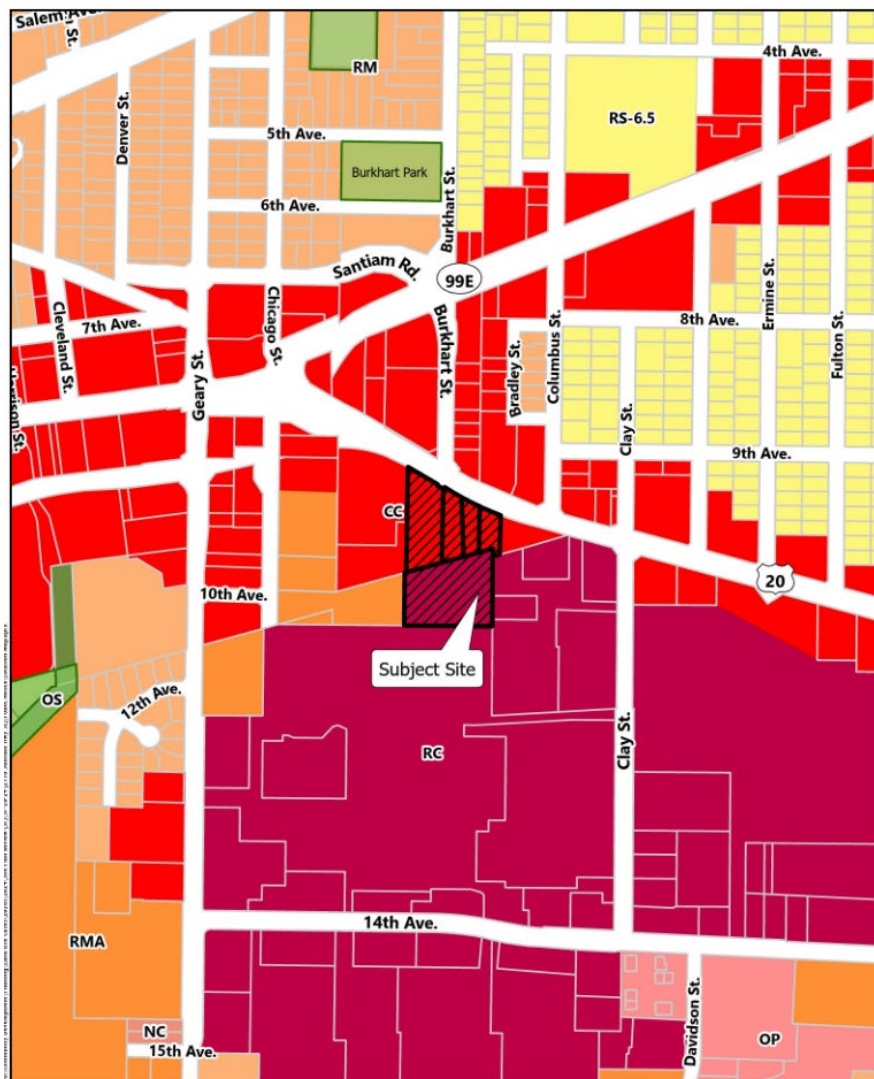
Appeal Procedure

Appeals may be made to the Planning Commission if a person with standing files a notice to appeal in accordance with ADC 1.410 with the associated filing fee no later than **10 days** from the date the City mails the notice of decision (disposition). The decision becomes final when the period for filing a local appeal has expired.

Conditions of Approval

- Condition 1* Prior to start of work on the site, a Parking Lot permit must be obtained and issued.
- Condition 2* Prior to use of the parking lot, all required landscaping must be installed or financially secured at 110 percent of the cost of labor and materials (plants, ground covers, and any required irrigation) that have not been installed, as verified in writing by a landscape contractor.
- Condition 3* Prior to use of the parking area, a Stormwater Quality Permit must be obtained from the City of Albany's Engineering Division Stormwater quality facilities must be constructed generally as detailed in the applicant's storm drainage report.

Location Map



N
0 250 500 1,000
Feet
Date: 10/21/2024 Map Source:

2110 Santiam Hwy SE

Location Map

Exhibit A

Notice Information

Notice of Filing Mail Date	October 24, 2024
Notice Area	300 feet
Comment Period	14 days
Comment Due Date	November 7, 2024
Comments Received	0

Analysis of Development Code Criteria

Section 2.450 of the ADC includes the following review criteria, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

*This staff report checklist is a guide only. Refer to the Albany Development Code for the full text of standards.

CRITERION 1 – COMPLETENESS

Date application received:	September 16, 2024
Date application was paid:	September 16, 2024
Date application deemed complete:	October 18, 2024

CRITERION 2 – ZONING DISTRICT DEVELOPMENT STANDARDS

Standard	CC Zone	Proposal
Minimums		
Lot size (sq. ft.)(1)	None	No change
Lot width	None	No change
Lot depth	None	No change
Front setback	10'	No change
Interior setbacks -abutting non-res'l	None	No change
Interior setbacks - abutting res'l district	10' (5)	No change
Maximums		
Building Size	100,000 (13)	No change
Lot size (sq. ft.)	None	No change
Height (8)	50'	No change
Lot Coverage (7)	90%	No change
Open Space	(9)	N/A

Special Circumstances and Exceptions	
(1)	The minimum lot size for residential units is 1,600 sq. ft. per unit. No minimum lot size is required for non-residential development.
(2)	New NC zones may be no more than 30,000 sq. ft. of contiguous land.
(3)	All yards adjacent to streets. Approved vegetated post-construction stormwater quality facilities are allowed in landscaped areas.
(4)	The minimum lot size for supporting commercial uses may be smaller than 3 acres.
(5)	Structures on property abutting residential districts and/or uses require 1 foot of setback for each foot of finished wall height with a minimum setback of 10 feet.
(6)	No setbacks are required for buildings abutting railroad rights-of-way.
(7)	Lot coverage for single dwelling detached and middle housing development shall only include the area of the lot covered by buildings or structures.
(8)	Unless in Airport Approach Overlay District. See Sections 4.400 to 4.440.
(9)	Ten or more multiple-dwelling units require common open space. See Section 8.220.
(10)	The maximum business footprint for supporting commercial uses allowed in IP is 5,000 square feet. The maximum business footprint for convenience-oriented and personal service-oriented retail uses in NC and OP is 5,000 square feet. Convenience-

	oriented and personal service-oriented retail uses in buildings constructed prior to February 7, 2003, in the NC and OP districts are exempt from the maximum business footprint.
(11)	When adjacent to or across the street from residentially zoned land, the setback shall be 1 foot for each foot of building height over 30 ft. Buildings may increase in height (“step” up) as the setback increases. For example, at the minimum setback in LI, a building may be 30 feet tall but may increase in height up to 50 feet when set back 50 feet from the property line.
(12)	Higher structures permitted by Conditional Use approval.
(13)	The maximum building size may be exceeded for non-commercial and non-office uses when the building is multi-story.

CRITERION 3 – SPECIAL PURPOSE DISTRICTS

Overlay	Checklist	Supplemental Findings
Article 4, Airport Approach	Transitional Surface <input type="checkbox"/> Horizontal Surface <input type="checkbox"/> Conical Surface <input checked="" type="checkbox"/> Approach Surface <input type="checkbox"/> None <input type="checkbox"/>	3.1 – No buildings are proposed with this application; there is no effect on the airport approach area.
Article 4, Ldn Contours	55 Ldn <input type="checkbox"/> 60 Ldn <input type="checkbox"/> 65 Ldn <input type="checkbox"/> None <input checked="" type="checkbox"/>	
Article 6, Floodplain Overlay District (/FP)	Floodway <input type="checkbox"/> Floodplain <input type="checkbox"/> FIRM Panel No. 41043C0214H Base Flood Elevation N/A NGVD 29 <input type="checkbox"/> NAVD 88 <input type="checkbox"/> Elevation Cert. <input type="checkbox"/> LOMA <input type="checkbox"/> LOMR-F <input type="checkbox"/> CLOMR-F <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Hillside Development Overlay (/HD)	Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/> Geotech Report Required <input type="checkbox"/>	
Article 6, Riparian Corridor Overlay (/RC)	Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Significant Wetland Overlay (/SW)	Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Habitat Assessment Overlay (HA)	Exempt <input type="checkbox"/> Natural Resource Impact Review <input type="checkbox"/> Mitigation Required <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 6, Willamette Greenway Overlay (/WG)	Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Article 7, Historic Overlay District	Monteith <input type="checkbox"/> Hackleman <input type="checkbox"/> Downtown Commercial <input type="checkbox"/> Albany Municipal Airport <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	
Conditions		
None.		

CRITERION 4 – APPLICABLE DESIGN STANDARDS OF ARTICLE 8

Commercial/Institutional Standards	Summary Description*	Checklist
Entrance Orientation, ADC 8.330(1)	New buildings shall be oriented to existing or new public streets.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Main Entrance Design, ADC 8.330(1)(a)	At least one main entrance, compliant with subsection (1), must be designed to include at least three (3) architectural features.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Parking Location, ADC 8.330(2)	Off-street parking must be located to the side or rear of the building(s) and not between the building and the street, except where the applicant demonstrates that one or more situations apply.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Façade Design & Articulation, ADC 8.345(2)	Regulated façades shall include a minimum of two types of architectural features.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Ground Floor Windows, ADC 8.345(3)	Ground floor windows or entrance doors shall be provided along regulated façades at the pedestrian level in accordance with the standards.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Windows on Upper Stories, ADC 8.345(4)	In the HD, CB, DMU, and WF zoning districts, buildings with two or more stories shall provide windows occupying at least 25 percent of the regulated façade on the upper stories in accordance with the standards.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Pedestrian Amenities, ADC 8.360(1) & (2)	New buildings or expansions or modifications to existing buildings except those where a land use application is not required pursuant to ADC Section 1.105 shall provide pedestrian amenities.	Source: Attachment B Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Pedestrian Amenities, ADC 8.365(1)	Pedestrian amenities are required in the HD, CB, DMU, and WF zones. Each development shall provide a minimum of one of the improvements listed in 8.365(1)(a) – (f).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Compatibility Standards, ADC 8.390	Commercial and institutional development shall be designed to comply with compatibility standards and any other improvements needed to reduce negative impacts on adjacent uses.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		

4.1: The applicant proposes to reconstruct a portion of an existing parking lot. No buildings are proposed as part of this project.
Conditions
None.

CRITERION 5 – MANUFACTURED HOME DEVELOPMENT STANDARDS OF ARTICLE 10

Standard	Checklist	Supplemental Findings
Design Standards of Article 10	Applicable <input type="checkbox"/> Not Applicable <input checked="" type="checkbox"/>	

CRITERION 6 – ONSITE DEVELOPMENT AND ENVIRONMENTAL STANDARDS OF ARTICLE 9

Bicycle Parking Standards	Summary Description*	Checklist
Bicycle Parking, ADC 9.030(3)(a)	All bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(b)	If bicycle parking is located within vehicle parking areas, it must be separated from vehicular maneuvering areas by curbing or other barriers to prevent damage to parked bicycles.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(c)	Bicycle parking may be in a public right-of-way, including on a public sidewalk with approval from the City Engineer.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(d)	All required bicycle parking spaces for new multi-dwelling unit development, mixed-use development, offices, and institutional development shall be sheltered. For all other uses, at least 50 percent of required bicycle parking spaces must be sheltered, including 50 percent of spaces sized for larger/cargo bicycles.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(e)	Bicycle parking spaces and access dimensions must comply with the standards in Table 9.030-2, except that at least 25% of bicycle parking spaces must be 3 feet wide by 8 feet long, with a 5-foot-wide access aisle and on the ground to accommodate cargo bicycles, including family and cargo bicycles.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(f)	Bicycle parking spaces must be served by access aisles conforming to the minimum dimensions set forth in Table 9.030-2. These areas must be constructed of concrete, asphalt, or a pervious hard surface such as pavers, or an equivalent.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Bicycle Parking, ADC 9.030(3)(g)	Each bicycle parking space must have a parking rack securely fastened to the ground except for vertical tipped spaces. Bicycle parking racks must support each bicycle at a minimum of two points.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.1: No new bicycle parking spaces will be provided as part of this project.		

Conditions
None.

Carpool/Vanpool Spaces	Summary Description*	Checklist
Carpool/Vanpool Spaces, ADC 9.035(1)	When parking is provided, at least one standard-sized parking space shall be reserved for carpool/vanpool parking, or ten percent of employee-use parking spaces provided, whichever is greater.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Carpool/Vanpool Spaces, ADC 9.035(2)	Preferential carpool/vanpool parking spaces must be closer to the employee entrance of the building than other parking spaces, except for ADA accessible parking spaces.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Carpool/Vanpool Spaces, ADC 9.035(3)	Required carpool/vanpool spaces must be clearly marked “Reserved – Carpool/Vanpool Only.”	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Accessible Spaces, ADC 9.040	Spaces compliant with the Americans with Disabilities Act (ADA) must be provided in accordance with ORS 477.233 when off-street parking is provided.	Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>

Supplemental Findings
6.2: No new carpool/vanpool spaces will be provided as part of this project.
Conditions
None.

Electric Vehicle Charging	Summary Description*	Checklist
Electric Vehicle Charging Capacity, ADC 9.050	Electrical service capacity sufficient for a level 2 electric vehicle charging station must be provided for no less than 20 percent of all new vehicle parking spaces for non-residential developments and no less than 40 percent of all vehicle parking spaces serving newly constructed residential buildings with five or more multi-dwelling units.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Electric Vehicle Charging Capacity, ADC 9.050(2)	Electric vehicle charging capacity must be provided for 40 percent of ADA spaces in residential and mixed-use developments with five or more units, and 25 percent of ADA and Carpool/Vanpool spaces in non-residential developments.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Electric Vehicle Charging Capacity, ADC 9.050(3)	When charging facilities are provided for accessible spaces, charging facilities must be located so there is a clear and accessible path from the vehicle to the sidewalk and shall be accessible in height.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>

Supplemental Findings
6.3: The applicant proposes to reconstruct 44 parking spaces in an existing parking lot. As required by ADC 9.050, 9 EV parking spaces are proposed, including one ADA parking space. This criterion is satisfied.
Conditions
None.

Loading Standards	Summary Description*	Checklist
Loading Standards, ADC 9.060(1)	Loading spaces are required for all uses in the berth shall not protrude into a public right-of-way or sidewalk. Loading berths shall be located so that vehicles are not required to back or maneuver in a public street	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Loading Standards, ADC 9.060(2)	A school having a capacity greater than 25 students shall have a driveway designed for the continuous forward flow of passenger vehicles for the purpose of loading and unloading children.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Loading Standards, ADC 9.060(3)	The minimum required loading area is as follows: (a) 250 square feet for buildings of 10,000 to 20,000 square feet of gross floor area; (b) 500 square feet for buildings of 20,000 to 50,000 square feet of gross floor area; (c) 750 square feet for buildings greater than 50,000 square feet of gross floor area.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Loading Standards, ADC 9.060(4)	The required loading area shall not be less than 10 feet wide by 25 feet long and shall have an unobstructed height of 14 feet.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Loading Standards, ADC 9.060(5)	Required loading facilities shall be installed prior to final building inspection and shall be permanently maintained as a condition of use.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Loading Standards, ADC 9.060(6)	Loading areas shall be subject to the same provisions as parking areas relative to plan information, setbacks, buffering/screening requirements, and lighting.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.4: The site contains existing loading areas that will not be altered.		
Conditions		
None.		

Parking Area Improvement Standards	Summary Description*	Checklist
Parking Area Improvement Standards, ADC 9.100	All public or private parking areas, loading areas and outdoor vehicle sales areas must be improved based on the standards. When the total surface parking area for the development site exceeds 10,890 square feet, parking area improvements must comply with the standards in Section 9.135.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Other Requirements, ADC 9.100(2)	All parking areas shall conform to the setback, clear vision, landscaping, and buffering/screening provisions of this Code.	Source: Attachment C Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>

Surfacing, ADC 9.100(3)	All required parking, travel aisles, and access, shall have a durable, dust-free surface of asphalt, cement concrete, or other materials approved by the Director.	Source: Attachment C Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Drainage, ADC 9.100(4)	All parking lots must provide a drainage system to dispose of the runoff generated by the impervious surface. Provisions shall be made for the on-site collection of drainage water to eliminate sheet flow of such water. All drainage systems must be approved by the Director of Public Works.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Perimeter Curb, ADC 9.100(5)	Perimeter curbing is required for protection of landscaped areas and pedestrian walkways, and to prevent runoff onto adjacent properties.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Wheel Bumper, ADC 9.100(6)	All parking stalls fronting a sidewalk, alleyway, street or property line, shall provide a secured wheel bumper at least six inches high and at least six feet long, set back from the front of the stall at least 2-1/2 feet, but no more than three feet. If the sidewalk is widened to seven feet six inches, no wheel bumpers are required.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Turnaround, ADC 9.100(7)	Groups of more than two parking spaces must be located and served by an aisle or turnaround so that their use will require no backing movements or other maneuvering in a street right-of-way other than an alley.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Striping, ADC 9.100(8)	Lots containing more than two parking spaces must have all required spaces permanently and clearly striped. Stripes must be at least four inches wide. When motorcycle parking, compact, or parking spaces for the disabled are provided, they shall be designated within the stall.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Connecting to Adjacent Parking Areas, ADC 9.100(9)	Where an existing or proposed parking area is adjacent to a site within the same zoning district, any modifications to the parking areas must be designed to connect to the existing or future adjacent parking area, unless waived by the Director.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Parking Lot Landscaping, ADC 9.100(10)	Parking lots shall be landscaped according to the standards in Section 9.150.	Source: Attachment C Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Compact Car Parking, ADC 9.100(11)	No more than 40 percent of parking spaces provided may be designated for compact cars. Compact spaces must be signed and/or the space painted with the words "Compact Car Only."	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Parking Accessible to the Disabled, ADC 9.100(12)	All parking areas must provide accessible parking spaces in conformance with the Oregon Structural Specialty Code.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>

Lighting, ADC 9.100(13)	Any lights provided to illuminate any public or private parking area or vehicle sales area must be arranged to reflect the light away from any abutting or adjacent properties.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Pedestrian Access, ADC 9.100(14)	Walkways and accessways shall be provided in all new off-street parking lots and additions to connect sidewalks adjacent to new development to the entrances of new buildings.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Occasional Overflow Parking, ADC 9.110	The Director may approve the use of gravel surfacing for parking above the maximum parking requirements intended for occasional needs.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Conversion of Off-Street Parking, ADC 9.115)	When new development, including expansions to existing structures, results in the conversion or elimination of existing off-street surface parking areas for a use other than bicycle-oriented and transit-oriented facilities, all existing parking areas that are physically impacted by the development must be improved to the standards in Article 9.	Source: Attachment B.2 Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.5: The reconstructed parking lot will be configured the same as the existing parking lot with the addition of one parking lot landscape island.		
Conditions		
Condition 1: Prior to start of work on the site, a Parking Lot permit must be obtained and issued.		

Parking Lot Design & Circulation	Summary Description*	Checklist
Off-Street Parking Lot Design & Circulation, ADC 9.120(1)	All off-street parking lots over 1,000 square feet (contiguous) must be designed in accordance with the standards in this Article and the City standards for parking stalls and drive aisles as set forth in Table 9.120-1: Parking Lot Design and supplemental drawings in Figures 1 and 2.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Driveways and Drive Aisles, ADC 9.120(2)	<i>Driveways</i> are major travel routes through a site that provide access to and from surrounding streets and connections through the site to buildings and parking lot drive aisles. <i>Drive aisles</i> primarily provide vehicular access to bordering parking spaces. See Figure 9.120-1.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Internal Circulation System, ADC 9.120(3)	Interior driveways shall meet the standards in (a) – (g) unless the driveway is lined with angled or perpendicular parking stalls. Developments must provide street-like design and features along driveways including curbs, pedestrian facilities, and buildings built up to pedestrian facilities.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Minimum Driveway and Drive Aisle Widths, ADC 9.120(4)	Driveways for two-way traffic and emergency vehicle operations must be at least 24 feet wide. One-way driveways and one-way emergency vehicle access must be at least 20 feet wide. Drive aisle dimensions must comply with the standards in Table 9.120-1.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Parking Lot Design, ADC 9.120(5)	Parking stall and aisle dimensions must comply with Table 9.120-1. Stall dimensions are measured from inside the stripes. The design of driveways and on-site maneuvering and loading areas for commercial and industrial developments shall include 20 feet of storage length.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/>

		N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Compact Spaces, ADC 9.120(6)	Shall be at least 8 feet wide by 16 feet long.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Accessible Spaces, ADC 9.120(7)	Accessible spaces shall be a minimum of 9 feet wide and 17 feet long and designed in accordance with the Oregon Structural Specialty Code (OSSC). An adjacent access aisle must be provided that is at least eight feet wide and 17 feet long for a van-accessible space, and six feet wide for a standard accessible space.	Source: Attachment B Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Stall Width, ADC 9.120(8)	Long-term parking spaces must be at least 8.5 feet wide. Parking stalls for grocery stores or adjacent to planter islands must be at least 9.5 feet wide. Stall dimensions are measured from inside the stripes.	Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.6: No changes will be made to configuration or number of spaces within the parking area.		
Conditions		
None.		

Surface Parking Areas Standards	Summary Description*	Checklist
Surface Parking Areas, ADC 9.130(1)	Standards apply to new or improved surface parking areas of more than 0.25 acres (10,890 square feet), when existing parking areas are enlarged to more than 10,890 square feet, and when re-construction of a surface parking area of more than 0.25 acres is proposed.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Surface Parking Areas, ADC 9.130(2)	Compliance with at least one of the following options in (a) – (c).	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Surface Parking Areas, ADC 9.130(3)	Trees must be provided along all driveways but are not required along drive aisles. Trees shall be at least 10 feet tall at the time of planting.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Surface Parking Areas, ADC 9.130(4)	Development of a tree canopy plan under this section shall be done in coordination with the local electric utility and other utility providers, including pre-design, design, building and maintenance phases and meet the standards in (a) – (e).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Surface Parking Areas, ADC 9.130(5)	Parking lots shall be designed to separate pedestrians from vehicles and include protected pedestrian walkways from parking areas to building entrances.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>

Surface Parking Areas, ADC 9.130(6)	Parking lots with 75 or more spaces must comply with additional standards to ensure pedestrian safety and to improve vehicle circulation and reduce visual impacts of large expanses of pavement.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.7: The applicant proposes to replace all parking spaces in their original configuration.		
Conditions		
None.		

Connectivity	Summary Description*	Checklist
Street, Bicycle and Pedestrian Connectivity, ADC 9.133(4)	Pedestrian and bicycle connections shall be provided in the following locations: (a) Between an existing or planned transit stop and new development that is at, or within, 200 feet of the existing or planned transit stop; (b) Between the building’s main entrance(s) and the nearest sidewalk abutting the site or roadway where there is no sidewalk; (c) Between the development site and abutting properties.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Major Transit Stops, ADC 9.133(5)	Sites at major transit stops shall provide the items listed in (a) – (f).	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.8: All street, bicycle, and pedestrian connections will remain as previously constructed.		
Conditions		
None.		

Non-Residential Landscaping	Summary Description*	Checklist
Landscaping Required – Non-Residential, ADC 9.140(2)	All required front and interior setbacks (exclusive of accessways and other permitted intrusions) must be landscaped or have landscaping guaranteed in accordance with ADC 9.190 before an occupancy permit will be issued.	Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.9: No changes will be made to front and interior setback landscaping.		
Conditions		
None		

Parking Lot Landscaping	Summary Description*	Checklist
Planter Bays, ADC 9.150(1)	Parking areas shall be divided into bays of not more than 12 parking spaces. At both ends of each parking bay, there shall be curbed planters at least six feet wide, excluding the curb.	Source: Attachment C Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Entryway Landscaping, ADC 9.150(2)	Both sides of a parking lot entrance shall be bordered by a minimum five-foot-wide landscape planter strip meeting the same landscaping provisions as planter bays, except that no sight-obscuring trees or shrubs are permitted.	Source: Attachment C Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Parking Space Buffers, ADC 9.150(3)	Parking areas shall be separated from the exterior wall of a structure by pedestrian walkways or loading areas or by a five-foot strip of landscaping materials.	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/>

		Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Stormwater Collection System, ADC 9.150(4)	Vegetated post-construction stormwater quality facilities shall be considered as the initial stormwater collection system.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Landscape Protection, ADC 9.150(5)	Required landscaped areas adjacent to graveled areas must be protected, either by railroad ties secured by rebar driven 18 inches into the ground, by large boulders, or by another acceptable means of protection.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Parking Area Perimeter Landscaping in Village Centers, ADC 9.160	All parking areas (excluding entranceways) adjacent to a public street shall be screened according to one of the following options in (a) through (d). The landscape plan shall be prepared by a licensed landscape architect.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Irrigation of Required Landscaping, ADC 9.165	All required landscaped areas must be provided with an irrigation system unless a licensed landscape architect, landscape construction professional, or certified nurseryman submits written verification that the proposed plants do not require irrigation.	Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.10: The applicant submitted a conceptual landscaping plan which included the required parking lot landscaping. This standard is met with compliance with a condition.		
Conditions		
Condition 2: Prior to the use of the parking area, all required landscaping must be installed or financially secured at 110 percent of the cost of labor and materials (plants, ground covers, and any required irrigation) that have not been installed, as verified in writing by a landscape contractor.		

Buffering & Screening Standards	Summary Description*	Checklist
Buffering, ADC 9.240	The buffer area shall meet the standards in (1) – (3).	Source: Attachment B.2 Standard met <input checked="" type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input type="checkbox"/>
Screening, ADC 9.250	Where screening is required or provided, these standards apply in addition to conditions (1) <u>and</u> (3) of ADC 9.240.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Screening of Refuse Containers, ADC 9.255	Standards apply to all developments except for refuse containers or disposal areas serving four or fewer dwellings.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Buffer and Screening Matrix, Table 9.210-1	<input type="checkbox"/> 0' Buffer Only <input checked="" type="checkbox"/> <input type="checkbox"/> 5' Buffer & Screening <input type="checkbox"/> <input type="checkbox"/> 10'	Source: Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/>

	<input type="checkbox"/> 20' <input type="checkbox"/> 30' <input type="checkbox"/> 40'	Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings		
6.11: No changes will be made to the existing buffers as part of this project.		
Conditions		
None.		
Environmental Standards	Summary Description*	Checklist
Environmental Standards – Noise, ADC 9.440(1)-(5)	The City noise standards are stated in Albany Municipal Code Title 7, Public Peace, Morals and Safety. Oregon Administrative Rules (OAR) 340-035-0035, Noise Control Regulations for Industry and Commerce, is adopted here in its entirety, and as may be subsequently amended by the State of Oregon.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Visible Emissions, ADC 9.450	Within the mixed-use, commercial, IP and WF zoning districts, there shall be no use, operation, or activity that results in a stack or other point source emission, other than an emission from space heating, or the emission of pure uncombined water (steam) that is visible from a property line.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Water Quality, ADC 9.455	Direct discharge of stormwater and process waste from the operation of industries shall comply with the water quality standards adopted by the City of Albany, DEQ and as authorized by a National Pollutant Discharge Elimination System (NPDES) Permit.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Vibration, ADC 9.460	Continuous, frequent, or repetitive vibrations that exceed 0.002g peak may not be produced. Vibrations from temporary construction and vehicles that leave the site (such as trucks, trains, or aircraft) are exempt; vibrations lasting less than five minutes per day are also exempt. Vibrations from primarily on-site vehicles and equipment are not exempt.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Odors, ADC 9.470	Continuous, frequent, or repetitive odors or the emission of odorous gases or other matter in such quantities as to be readily detectable at any point beyond the property line of the use creating the odors is prohibited.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Glare and Heat, ADC 9.480	No direct- or sky-reflected glare in excess of 0.5-foot candles of light, whether from floodlights or from high-temperature processes such as combustion or welding or otherwise, visible at the lot line shall be permitted. There shall be no emission or transmission of heat or heated air so as to be discernible at the lot line of the source.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Insects and Rodents, ADC 9.490	All materials including wastes shall be stored and all grounds shall be maintained in a manner that will not attract or aid the propagation of insects or rodents or create a health hazard.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Environmental Standards – Hazardous Waste, ADC 9.500	Hazardous wastes are subject to the regulations of Oregon Administrative Rules (OAR) 340.100-110, Hazardous Waste Management.	Source: Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings below <input type="checkbox"/>
Supplemental Findings		
6.12: No adverse environmental impacts are anticipated.		
Conditions		
None		

CRITERION 7 – PUBLIC FACILITIES AND UTILITIES IN ACCORDANCE WITH ARTICLE 12

Utility	Diameter Size	Location	Checklist
Sanitary Sewer	8-inch	Located in Santiam Highway and along western boundary line.	Source: <input checked="" type="checkbox"/> Standard met <input checked="" type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> Connection Charge <input type="checkbox"/> Connection Required <input type="checkbox"/> System Development <input type="checkbox"/>
Water	12-inch	Located in Santiam Highway and along the western boundary line.	Source: <input type="checkbox"/> Standard met <input type="checkbox"/> With conditions <input type="checkbox"/> Standard not met <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/> Connection Charge <input type="checkbox"/> Connection Required <input type="checkbox"/> System Development <input type="checkbox"/>
Storm Drainage	24-inch 15-inch	Located in Santiam Highway Along the western boundary line	Source: <input type="checkbox"/> Standard met <input type="checkbox"/> With conditions <input checked="" type="checkbox"/> Standard not met <input type="checkbox"/> Connection Charge <input type="checkbox"/> Connection Required <input type="checkbox"/> Onsite Detention <input type="checkbox"/> SWQ Facility <input type="checkbox"/> System Development <input type="checkbox"/> N/A <input type="checkbox"/> See findings below <input checked="" type="checkbox"/>
Supplemental Findings			
<p>7.1: The subject property is currently connected to the public sanitary sewer system and the public water system. The proposed parking lot will not negatively impact the public sanitary sewer system or the public water system.</p> <p>7.2: It is the property owner’s responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany’s Engineering Division.</p> <p>7.3: ADC 12.530 states that the review body will approve a development request only when adequate provisions for storm and flood water run-off have been made as determined by the City Engineer.</p> <p>7.4 AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment including all phases of the development, where more than 5,000 square feet of impervious surfaces will be created or replaced. (Ord. 6012 § 2, 2023).</p> <p>7.5: The applicant has submitted a preliminary drainage plan that shows a retrofitting onsite drainage to treat replaced impervious surfaces. Final design details for these storm drainage facilities will be reviewed in conjunction with building permits. Before any work is done on or around a public storm drainage main the applicant must obtain an Encroachment Permit from the City’s Engineering Division. The proposed drainage plan is constructing stormwater quality facilities as part of the project. These facilities must be reviewed and approved as part of the Public Work’s Stormwater Quality Permit review process.</p>			
Conditions			
<p>Condition 3: Prior to use of the parking area, a Stormwater Quality Permit must be obtained from the City of Albany’s Engineering Division. Stormwater quality facilities must be constructed generally as detailed in the applicant’s storm drainage report.</p>			

CRITERION 8 – TRANSPORTATION IMPROVEMENTS IN ACCORDANCE WITH ARTICLE 12

Street Name or Alley	Classification	Frontage Condition	Supplemental Findings
Santiam Hwy SE	Principal Arterial <input checked="" type="checkbox"/> Minor Arterial <input type="checkbox"/> Major Collector <input type="checkbox"/> Minor Collector <input type="checkbox"/> Local <input type="checkbox"/> Alley <input type="checkbox"/>	Meet City Standards <input checked="" type="checkbox"/> Not Improved <input type="checkbox"/> Curb and Gutter <input checked="" type="checkbox"/> Sidewalk <input checked="" type="checkbox"/> Vehicle Lane <input checked="" type="checkbox"/> Bicycle Lane <input type="checkbox"/> On-Street Parking <input type="checkbox"/>	8.1 The subject property has frontage Santiam Hwy SE.
Supplemental Findings			
8.2: There is no new development or changes to access as part of the project proposal. There are no impacts to the transportation system.			Traffic Impact Analysis <input type="checkbox"/> Trip Generation Report <input type="checkbox"/> Capacity/Congestion <input type="checkbox"/> AM Peak Hr. Trips _____ PM Peak Hr. Trips _____ See findings at left <input type="checkbox"/>
Conditions			
None			

CRITERION 9 – STORMWATER QUALITY FACILITIES CONSISTENT WITH AMC TITLE 12

Supplemental Findings	
9.1: See findings under Site Plan Review Criterion Seven (above) related to stormwater quality standards in response to this review criterion.	Site Larger than 1 Acre <input type="checkbox"/> > 8,100 sf Impervious Surface <input type="checkbox"/> SWQ Permit Req’d. <input checked="" type="checkbox"/> N/A <input type="checkbox"/> See findings at left <input checked="" type="checkbox"/>
Conditions	
None	

CRITERION 10 – PRIOR LAND USE CONDITIONS

Prior Land Use Cases <input checked="" type="checkbox"/>	Not Applicable <input type="checkbox"/>
SP-08-03	

CRITERION 11 – NONCONFORMING SITES IN ACCORDANCE WITH ADC 2.330

Supplemental Findings	
	Nonconforming Development <input type="checkbox"/> Nonconforming Lot <input type="checkbox"/> Nonconforming Use <input type="checkbox"/> N/A <input checked="" type="checkbox"/> See findings at left <input type="checkbox"/>
Conditions	
None.	

Analysis of Development Code Criteria

Section 2.455 of the ADC includes the following review criteria applicable to non-residential development, which must be met for this application to be approved. Development code criteria are written in bold followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

CRITERION 1 – TRANSPORTATION SYSTEM CAN SAFELY AND ADEQUATELY ACCOMMODATE THE PROPOSED DEVELOPMENT

Findings
1.1: Transportation findings and conclusion under Site Plan Review Criterion Eight (above) are incorporated here by reference.
Conditions
None.

CRITERION 2 – PARKING AREAS AND ENTRANCE-EXIT POINTS ARE DESIGNED TO FACILITATE TRAFFIC AND PEDESTRIAN SAFETY AND AVOID CONGESTION

Findings
2.1: There are no changes to entrance-exit points on the subject property.
Conditions
None.

CRITERION 3 – DESIGN AND OPERATING CHARACTERISTICS OF THE PROPOSED DEVELOPMENT ARE REASONABLY COMPATIBLE WITH SURROUNDING DEVELOPMENT AND LAND USES, AND ANY NEGATIVE IMPACTS HAVE BEEN SUFFICIENTLY MINIMIZED.

Findings
3.2: No changes are proposed that will affect the design and operating characteristics of the proposed development.
Conditions
None.

Overall Conclusion

As proposed and conditioned, the application for Site Plan Review satisfies all applicable review criteria as outlined in this report.

Conditions of Approval

- Condition 1* Prior to start of work on the site, a Parking Lot permit must be obtained and issued.
- Condition 2* Prior to use of the parking lot, all required landscaping must be installed or financially secured at 110 percent of the cost of labor and materials (plants, ground covers, and any required irrigation) that have not been installed, as verified in writing by a landscape contractor.
- Condition 3* Prior to use of the parking area, a Stormwater Quality Permit must be obtained from the City of Albany's Engineering Division Stormwater quality facilities must be constructed generally as detailed in the applicant’s storm drainage report.

Attachments

- A. Overall Site Map
- B. Project Area Site Map
- C. Landscaping Plan
- D. Applicant’s Narrative

Acronyms

ADC	Albany Development Code
ADT	Average Daily Trip
AMC	Albany Municipal Code
CC	Community Commercial
FEMA	Federal Emergency Management Administration
FIRM	Flood Insurance Rate Map
ITE	Institute of Transportation Engineers
RC	Regional Commercial
RM	Residential Medium Density
SFHA	Special Flood Hazard Area
TIA	Traffic Impact Analysis
TSP	Transportation Systems Plan

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or Development Code regulations or administrative policies of the Planning, Engineering, Fire, or Building Departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute Building or Public Works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. This proposal must be initiated within three years of the date of this letter of approval.

Building

The Building Division within Community Development has provided the following comments:

4. The proposed project may require permits that will need to be applied for at www.albanyoregon.gov/permits. For questions about permitting requirements, please email cd.customerservice@albanyoregon.gov.
5. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at time of application.

Engineering

6. The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.
7. An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030)

Fire

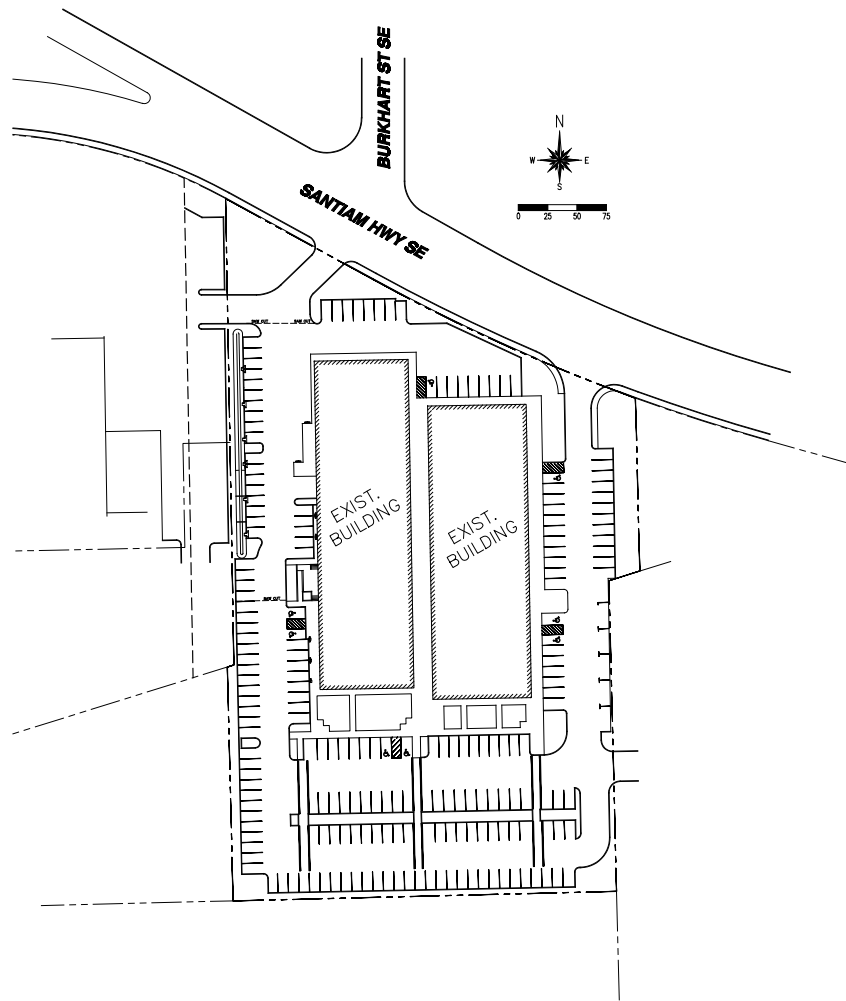
The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments.

****Land Use permit will include a \$125 Fire Plans Review fee****

1. Private fire apparatus access roadways shall be permanently marked “NO PARKING—FIRE LANE” using a combination of “YELLOW” painted curbing and approved signs spaced along the road edge as follows: (OFC 503.3 & Appendix D 103.6)
 - Roads 20 to 26 feet in width – Posted both sides at 50-foot intervals.
 - Roads more than 26 feet in width – Posted on one side (as approved) at 50-foot intervals.

Future plans shall identify all private fire apparatus access roads and the marking to be provided.

2. The fire apparatus roadways for this project are required to be provided and maintained at a minimum of 20 feet wide of improved surface. (OFC 503.2.1)
3. The road surface for all private fire apparatus access roads shall be all weather and capable of supporting an imposed load from fire apparatus of at least 75,000 pounds as verified by a qualified State of Oregon licensed design professional. (OFC 503.2.3 & Appendix D, 102.1). The Designer of Record shall provide written certification to the Fire Department upon completion of all private access road construction.



OWNER

ELIJAH LIST MINISTRIES, INC.
525 2ND AVENUE SW, SUITE 629
ALBANY, OR 97321

PROPERTY

TAX MAP: 11S03W08B4
TAX LOT: 7200, 7300, & 7400
ADDRESS: 2120 SANTIAM HWY SE
ALBANY, OREGON

CONTRACTOR

JDR GENERAL CONTRACTING, LLC
PO BOX 577
ALBANY, OR 97321
541-619-1287

SHEET INDEX

- C1 - COVER
- C2 - SITE PLAN
- C3 - GRADING PLAN
- C4 - PROFILE
- C5 - LANDSCAPE
- C6 - CALCULATIONS & SUMMARY

LEGEND

- [M] - WATER METER
- [B] - BACK FLOW PREVENTER
- SD - STORM DRAIN
- MH - MANHOLE
- CB - CATCH BASIN
- IE - INVERT ELEVATION
- FD - FOUND
- IR - IRON ROD
- EV - ELECTRIC VEHICLE CHARGING STATION
- - EXIST. STORM PIPE
- - NEW STORM PIPE
- - PROPERTY BOUNDARY
- - EASEMENT LINE
- - SAW CUT LINE
- [] - APPLY SEAL COAT
- [] - NEW ASPHALT PER SECTION

ELECTRIC VEHICLE CHARGING

TOTAL PARKING = 44 SPACES
ELECTRIC VEHICLE CHARGING = 20% MIN.
20% (40 SPACES) = 9 CHARGING SPACES

NOTES

1. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH CITY OF ALBANY'S STANDARD CONSTRUCTION SPECIFICATIONS.
2. ELEVATIONS ARE FROM AN ASSUMED DATUM.
3. ALL ASPHALT AND CONCRETE SURFACE GRADES ARE TO MATCH EXISTING GRADES.
4. PROVIDE PROTECTION FROM ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC IN STORMWATER FACILITY AREA PRIOR TO, DURING, AND AFTER CONSTRUCTION.
5. ALL PLUMBING SHALL CONFORM TO THE OREGON PLUMBING SPECIALTY CODES.
6. IT IS CONTRACTORS RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF ALBANY.
7. INSTALL CITY APPROVED MARKER POST AT ALL CLEAN OUTS.
8. ALL MATERIALS SHALL BE CONSISTENT WITH CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.

REVISION TABLE			
NO.	DATE	BY:	DESCRIPTION:
01	8/16/2024	E. KIRBY	FOR MARKING STATIONS
02	8/16/2024	E. KIRBY	FOR MARKING STATIONS
03	8/16/2024	E. KIRBY	FOR MARKING STATIONS
04	10/7/2024	E. KIRBY	ON SITE SCALE

COVER

**PARKING LOT IMPROVEMENTS
ELIJAH LIST MINISTRIES, INC.
2112 SANTIAM HIGHWAY SE
ALBANY, OREGON**

DRAWING PROVIDED BY:
TYP ENGINEERING
1000 W. 1ST ST STE 101
ALBANY, OR 97321
OFFICE@TYPENGINEERING.COM
541-781-7118



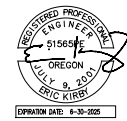
DATE: 08/16/2024

SCALE: N.T.S.

JOB NO. 24-06-052

DRAWN BY: ECK

SHEET: C1

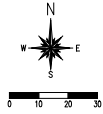


EXPIRATION DATE: 6-30-2025

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

ATTACHMENT B

SANTIAM HWY SE

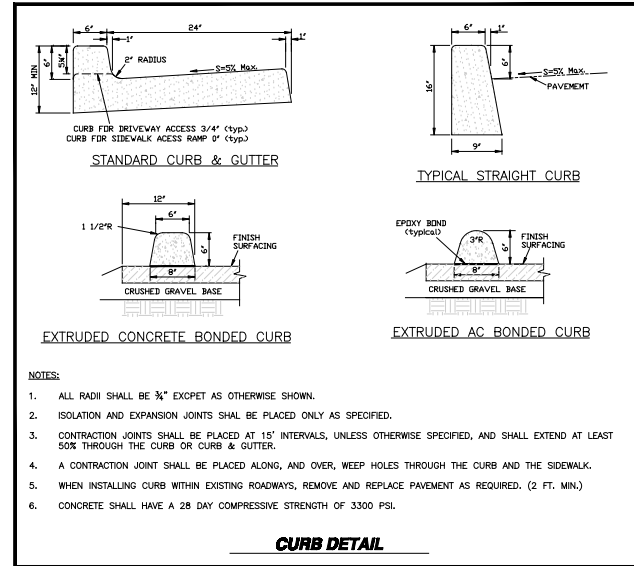
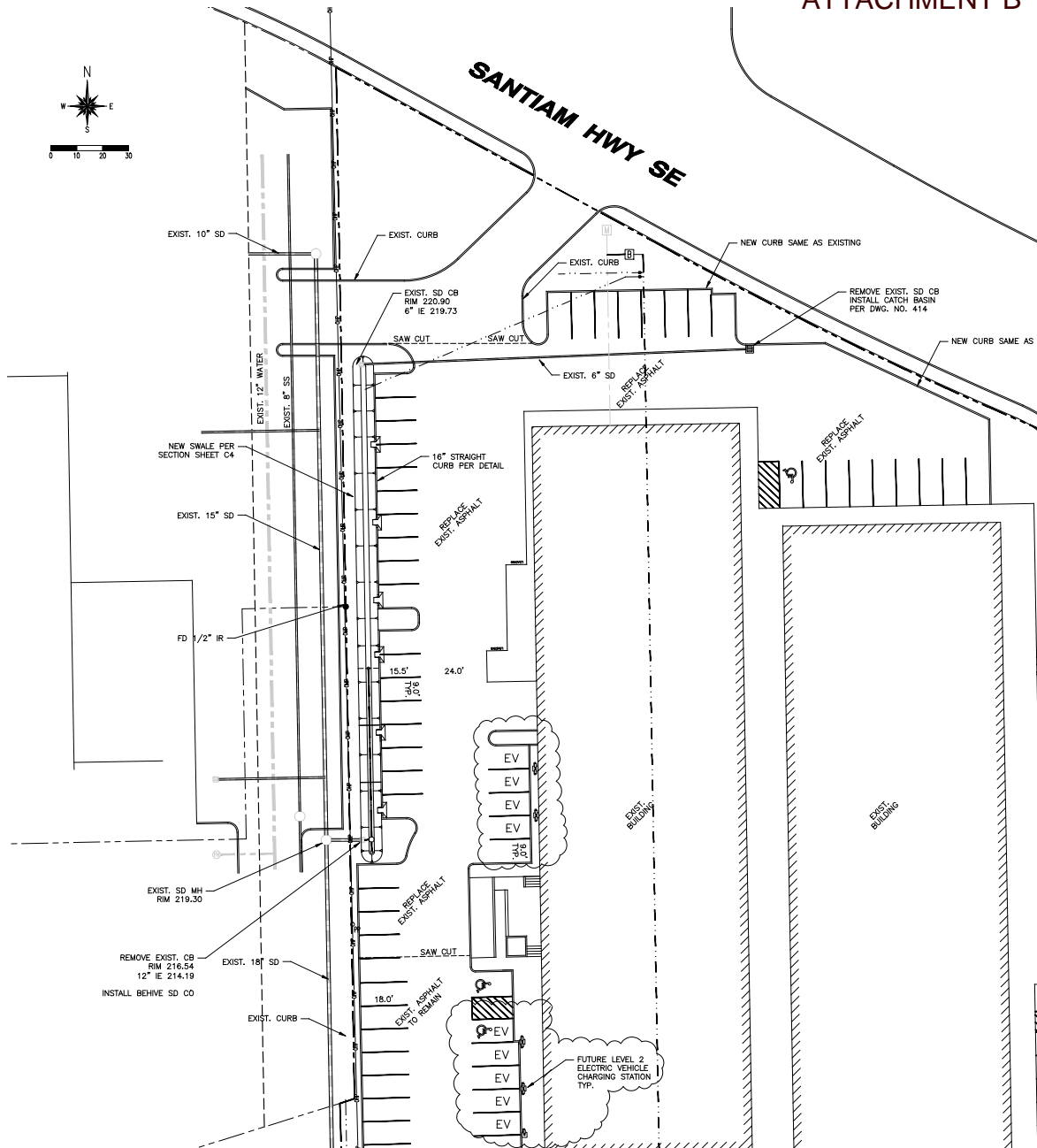


LEGEND

[M]	- WATER METER
[B]	- BACK FLOW PREVENTER
SD	- STORM DRAIN
MH	- MANHOLE
CB	- CATCH BASIN
IE	- INVERT ELEVATION
FD	- FOUND
IR	- IRON ROD
EV	- ELECTRIC VEHICLE CHARGING STATION
---	- EXIST. STORM PIPE
---	- NEW STORM PIPE
---	- PROPERTY BOUNDARY
---	- EASEMENT LINE
---	- SAW CUT LINE
[Hatched]	- APPLY SEAL COAT
[Hexagonal]	- NEW ASPHALT PER SECTION

ELECTRIC VEHICLE CHARGING

TOTAL PARKING = 44 SPACES
 ELECTRIC VEHICLE CHARGING = 20% MIN.
 20% (40 SPACES) = 9 CHARGING SPACES



NOTES

- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH CITY OF ALBANY'S STANDARD CONSTRUCTION SPECIFICATIONS.
- ELEVATIONS ARE FROM AN ASSUMED DATUM.
- ALL ASPHALT AND CONCRETE SURFACE GRADES ARE TO MATCH EXISTING GRADES.
- PROVIDE PROTECTION FROM ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC IN STORMWATER FACILITY AREA PRIOR TO, DURING, AND AFTER CONSTRUCTION.
- ALL PLUMBING SHALL CONFORM TO THE OREGON PLUMBING SPECIALTY CODE.
- IT IS CONTRACTORS RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF ALBANY.
- INSTALL CITY APPROVED MARKER POST AT ALL CLEAN CUTS.
- ALL MATERIALS SHALL BE CONSISTENT WITH CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.



EXPIRATION DATE: 6-30-2025

REVISION TABLE			
NO.	DATE	BY:	DESCRIPTION:
01	8/7/2024	ECK	FOR MARKING
02	8/7/2024	ECK	FOR MARKING
03	8/22/2024	ECK	FOR MARKING
04	10/27/2024	ECK	FOR MARKING

SITE PLAN

PARKING LOT IMPROVEMENTS
ELIJAH LIST MINISTRIES, INC.
2112 SANTIAM HIGHWAY SE
ALBANY, OREGON

DRAWING PROVIDED BY:
TYP ENGINEERING
1100 N. 1ST ST. STE. 101
ALBANY, OR 97007
OFFICE@TYPENGINEERING.COM
541-781-7118

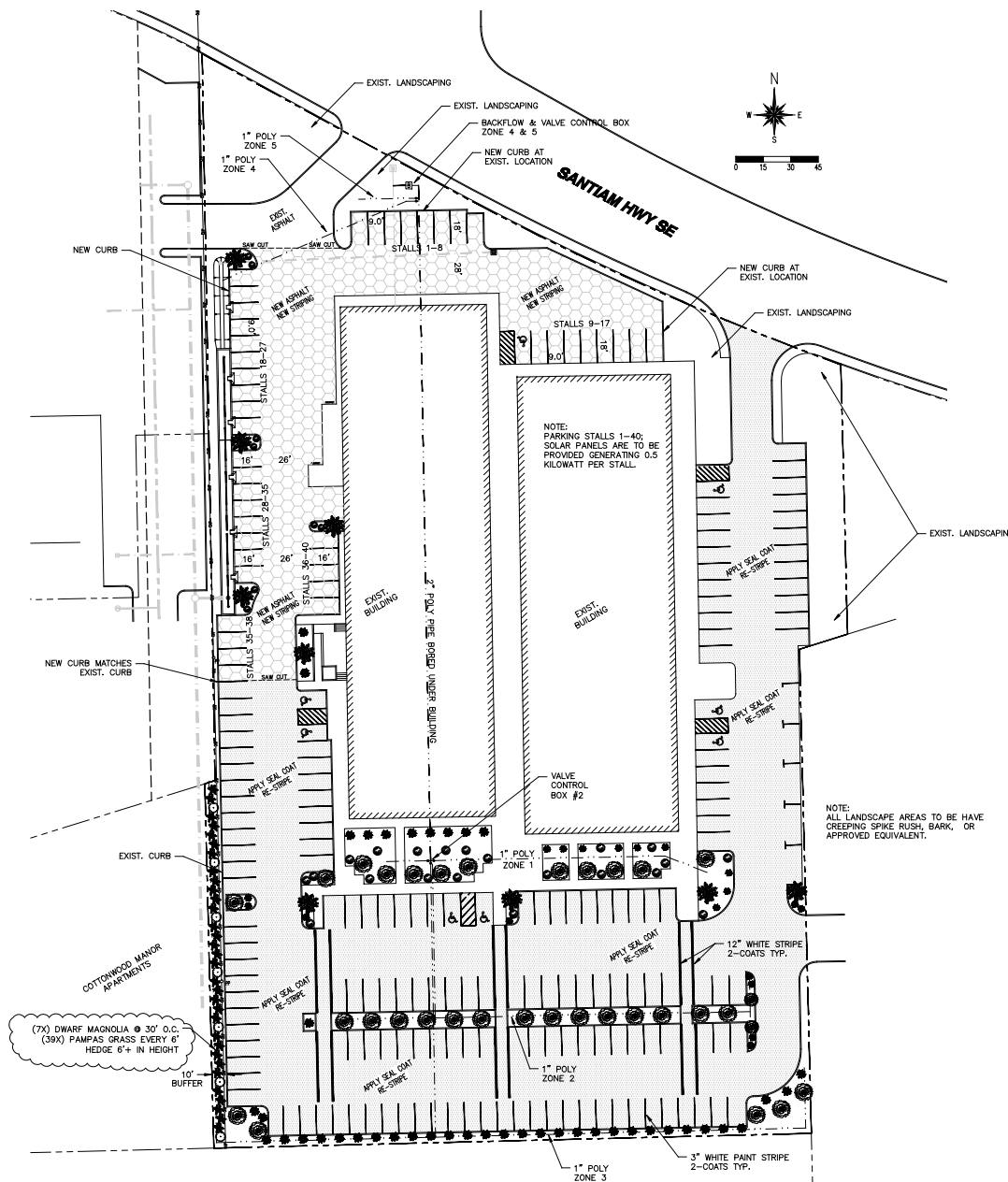
DATE:
08/16/2024

SCALE:
N.T.S.

JOB NO.
24-06-052

DRAWN BY:
ECK

SHEET:
C2



LEGEND

[W]	- WATER METER
[B]	- BACK FLOW PREVENTER
SD	- STORM DRAIN
MH	- MANHOLE
CB	- CATCH BASIN
IE	- INVERT ELEVATION
FD	- FOUND
IR	- IRON ROD
---	- EXIST. STORM PIPE
---	- NEW STORM PIPE
---	- INVERT ELEVATION
---	- PROPERTY BOUNDARY
---	- EASEMENT LINE
---	- SAW CUT LINE
[Pattern]	- APPLY SEAL COAT
[Pattern]	- NEW ASPHALT PER SECTION

OWNER
 ELIJAH LIST MINISTRIES, INC.
 525 2ND AVENUE SW, SUITE 629
 ALBANY, OR 97321

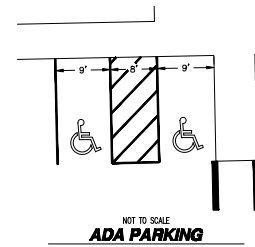
PROPERTY
 TAX MAP: 11503W08BA
 TAX LOT: 7200, 7300, & 7400
 ADDRESS: 2120 SANTIAM HWY SE
 ALBANY, OREGON

REVISION TABLE			
NO.	DATE	BY	DESCRIPTION
1	8/17/2024	EWB	ISSUE FOR PERMITS
2	10/22/2024	EWB	ISSUE FOR PERMITS

LANDSCAPING

LANDSCAPE LEGEND

[Symbol]	- MADRONE
[Symbol]	- HOGAN CEDAR
[Symbol]	- PAMPAS GRASS
[Symbol]	- WINDMILL PALMS
[Symbol]	- BANANNA PLANTS
[Symbol]	- DWARF MAGNOLIA



LANDSCAPE NOTES

1. ALONG WEST SIDE ABUTTING COTTONWOOD MANOR APARTMENTS PAMPAS GRASS IS TO BE PLANTED TO PROVIDE A CONTINUOUS HEDGE AT LEAST FOUR FEET IN HEIGHT WITHIN TWO YEARS OF PLANTING FOR BUFFERING AND SCREENING BETWEEN COMMERCIAL AND RESIDENTIAL AS REQUIRED BY ALBANY DEVELOPMENT CODE 9.210.
2. PROVIDE ONE TREE AND 2 SHRUBS FOR EACH PLANTER BAY AT A MINIMUM.
3. EVERGREEN TREES ARE TO BE 5 FEET HIGH AND DECIDUOUS TREES ARE TO BE 10 FEET HIGH AT TIME OF PLANTING.
4. ALL LANDSCAPE AREAS ARE TO BE COVERED WITH CREEPING SPIKE RUSH, BARK, OR APPROVED EQUIVALENT.
5. IRRIGATION IS TO BE PROVIDED TO ALL LANDSCAPE AREAS
6. ALL PLUMBING SHALL CONFORM TO THE OREGON PLUMBING SPECIALTY CODE.
7. IT IS CONTRACTORS RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF ALBANY.
8. ALL MATERIALS SHALL BE CONSISTENT WITH CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.

PARKING LOT IMPROVEMENTS ELIJAH LIST MINISTRIES, INC. 2112 SANTIAM HIGHWAY SE ALBANY, OREGON

DRAWING PROVIDED BY:
 TYP ENGINEERING
 1000 N. 1ST ST. STE. 101
 ALBANY, OR 97321
 OFFICE: 503.771.1111
 FAX: 503.771.7115



DATE: 08/16/2024
 SCALE: N.T.S.
 JOB NO. 24-06-052
 DRAWN BY: ECK
 SHEET: C5



EXPIRATION DATE: 6-30-2025

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER; THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

September 13, 2024

City of Albany Community Development
333 Broadalbin Street SW
Albany, OR 97321

Re: 2110 Santiam Highway Site Plan Finding of Facts.

1. *Criterion: The application is complete in accordance with the applicable requirements.*

Fact: The application includes the siter plan, signature page, and site plan review application form.

Conclusion: The application is complete in accordance with the applicable requirements.,

2. *Criterion: The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.*

Fact: The existing approved building and lot coverage remains unchanged. The new parking area conforms to the standards of Article 9.

Conclusion: The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.

3. *Criterion: Activities and developments within special purpose districts comply with the regulations described in Article 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.*

Fact: The subject property is not within a special purpose district. This criterion is not applicable to this site.

Conclusion: This development is not within a special purpose district. complying with the regulations described in Article 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), is not applicable.



4. Criterion: The application complies with all applicable Design Standards of Article 8.

Fact: The building and site configuration will remain essentially unchanged from its current approved status. The existing parking lot on the West and North sides will be brought to current standards.

Conclusion: The application complies with all applicable Design Standards of Article 8.

5. Criterion: The application complies with all applicable Design Standards of Article 10.

Fact: This application does not include any manufactured homes. Article 10 Manufactured Home Development Standards does not apply to this project.

Conclusion: The application complies with all applicable Design Standards of Article 10.

6. Criterion: The application complies with all applicable On-Site Development and Environmental Standards of Article 9.

Fact: Off-Street parking and loading will be brought to current standards. The existing loading dock will continue to be used for loading purposes as it has been used since the construction of the building. Parking lot surface will be asphalt. The existing entrance from Santiam Highway is to remain unchanged. Storm water runoff will be collected and flow through a storm water quality facility. Parking lot striping with ADA spaces will be provided in accordance with Table 9.120-1. Landscaping within the stormwater quality facility will be in accordance with Department of Public Works - Division 'E' - Stormwater Management Engineering Standards. The remaining landscaping along the North side is to remain unchanged. The property to the West of improvements is Commercial, therefore, buffering and screening is not required.

Conclusion: The application complies with all applicable On-Site Development and Environmental Standards of Article 9.



7. Criterion: The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Fact: The existing building is currently served by public utilities. The current utility configuration is to remain unchanged.

Conclusion: The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12.

8. Criterion: The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.

Fact: The existing building is currently served by existing transportation improvements. The current transportation system configuration is to remain unchanged.

Conclusion: The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12.

9. Criterion: The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.

Fact: A storm water quality structure is proposed as shown on the plans complying with the minimum standards outlined in the engineering standards.

Conclusion: The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.



10. Criterion: The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.

Fact: The parking lot is in accordance with SP-08-03 Staff Report dated June 17, 2003. This proposal is to resurface and restripe the existing parking lot on the North side and a portion of the West side only.

Conclusion: The proposal meets all existing conditions of approval for the site or use, as required by SP-08-03.

11. Criterion: Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Fact: This portion of the property will be brought into compliance with Albany Development Code with the proposed improvements.

Conclusion: The site will be brought into compliance in accordance with Section 2.370.

Additional Criteria:

1. Criterion: The transportation system can safely and adequately accommodate the proposed development.

Fact: The development is existing and will remain unchanged. No additional traffic is to access site.

Conclusion: The transportation system can safely and adequately accommodate the development.

2. Criterion: Parking areas and entrances-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.

Fact: Parking area is to remain unchanged. Parking area entrance-exit points are on Santiam Highway and are to remain unchanged. Existing sidewalks are to remain unchanged.

Conclusion: Parking areas and entrances-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.



- 3. Criterion: The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.*

Fact: The surrounding development is commercial. The proposed subject site is not changing in use or operating characteristics.

Conclusion: The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Sincerely,

Eric Kirby, PE

*TVP Engineering
260 Ferry Street SW, Suite 101
Albany, OR 97321*