



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Filing

Site Plan Review for New Construction & Tentative Partition

SP-28-24, PA-10-24

December 9, 2024

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Liz Olmstead** at 541-917-7640 or liz.olmstead@albanyoregon.gov. The deadline for submission of written comments is 5:00 p.m. on **December 23, 2024**.

Application Information

Proposal:	Construction of a 16,000-square-foot manufacturing facility, a 15,000-square-foot chemical storage area with associated site improvements, and a partition of two lots into three.
Review Body:	Staff (Type I-L review)
Property Owner:	Pacific Cast Technologies, Inc., 1621 Euclid Avenue, Suite 1850, Cleveland, OH 44115
Applicant:	Valliscor, LLC, 1110 NE Circle Blvd, Corvallis, OR 97330
Applicant's Representative:	Michael Riccitelli, Green Cascades Engineering, 717 Calapooia Street SW, Albany, OR 97321
Address/Location:	2435 & 2445 Ferry Street SW, Albany, OR 97322
Map/Tax Lot:	Linn County Assessor: 11S-03W-08BA Tax Lots 1102 & 1106
Zoning:	Light Industrial (LI)
Overlay Districts:	Wetlands
Total Land Area:	12.84 acres
Existing Land Use:	Vacant

The City of Albany has received the application for a Site Plan Review as referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. **Your comments must relate to the approval standards listed below.** Issues that may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **December 23, 2024**, 14 days from the date the City mails the notice of filing.

We have attached a location map, site plan, and elevation drawings. **All application materials are available for review online at www.albanyoregon.gov/cd/projectreview or in person at the Planning Division, and copies can be obtained for a minimal charge.** Should you wish to discuss this case with a planner, please call **Liz Olmstead**, project planner, at 541-917-7640. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321 or by email to liz.olmstead@albanyoregon.gov. Any person submitting written comments will receive a copy of the notice of decision on the application.

albanyoregon.gov/cd



According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450, 2.455, and 11.180. The use must also meet applicable City development standards found in the Code.

These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting.

The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450, 2.455, and 11.180).

Approval Standards for This Request

Site Plan Review Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved.

- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Section 2.455 of the Albany Development Code (ADC or Code) includes the following review criteria that must be met for this Site plan Review application to be approved.

- (1) The transportation system can safely and adequately accommodate the proposed development.
- (2) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (3) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Tentative Plat Review

Tentative Plat Review, Section 11.180 of the Albany Development Code (Code) includes the following review criteria that must be met for this application to be approved.

1. The proposal meets the development standards of the underlying zoning district, and applicable lot and block standards of this Article.

2. Development of any remainder of property under the same ownership can be accomplished in accordance with this Code.
3. Adjoining land can be developed or is provided access that will allow its development in accordance with this Code.
4. The Public Works Director has determined that transportation improvements are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.
5. The Public Works Director has determined that public facilities and utilities are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.
6. Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Additional review standards for this Land Use Review application are found in ADC Articles 1, 2, 4, 6, 9, 11 & 12.

Attachments: Location Map, Site Plan, Elevation Drawings



G:\Community Development\Planning Staff\Folders\Liz O\Maps\Location Map.aprx



0 50 100 200
Feet

Date: 12/6/2024 Map Source:

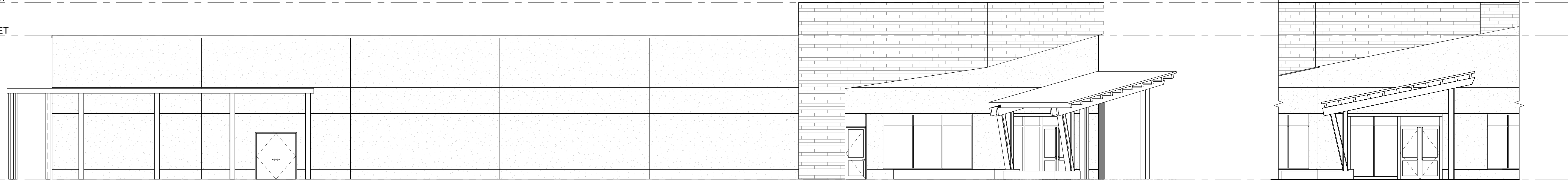
2435 & 2445 Ferry Street NW

Location Map

UPPER PARAPET
27' - 0"

LOWER PARAPET
22' - 0"

LEVEL 1
0' - 0"

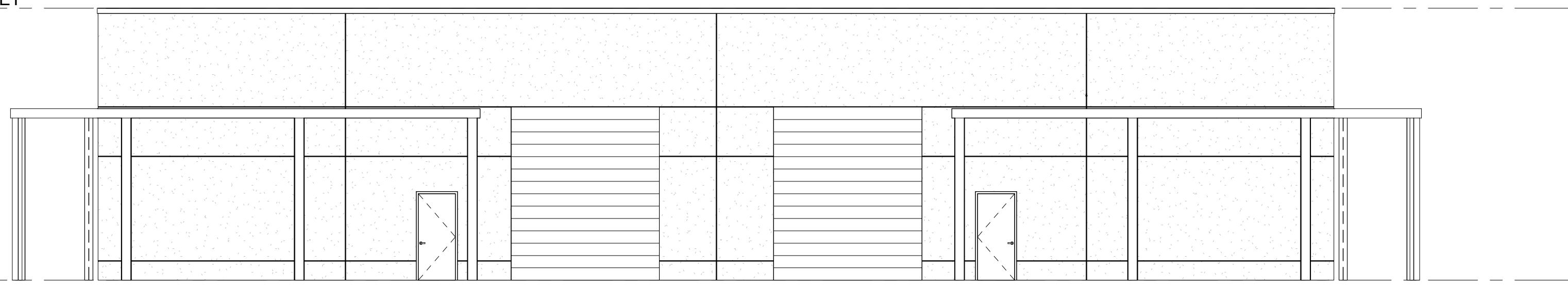


01 NORTH ELEVATION
1/8" = 1'-0"

UPPER PARAPET
27' - 0"

LOWER PARAPET
22' - 0"

LEVEL 1
0' - 0"

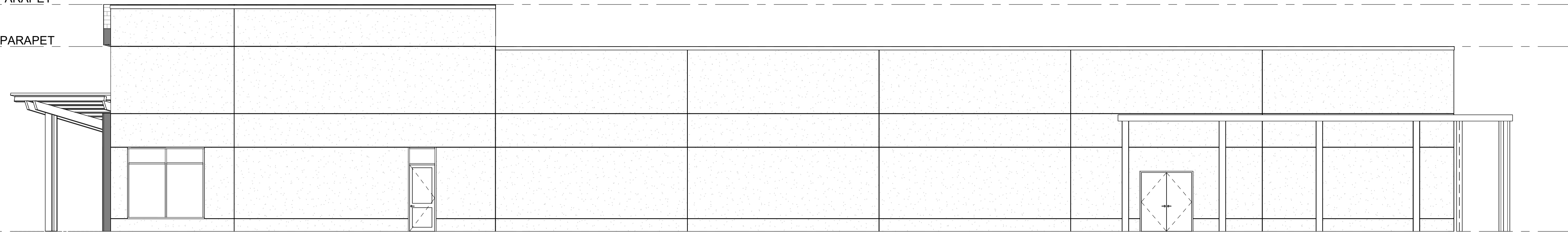


02 EAST ELEVATION
1/8" = 1'-0"

UPPER PARAPET
27' - 0"

LOWER PARAPET
22' - 0"

LEVEL 1
0' - 0"

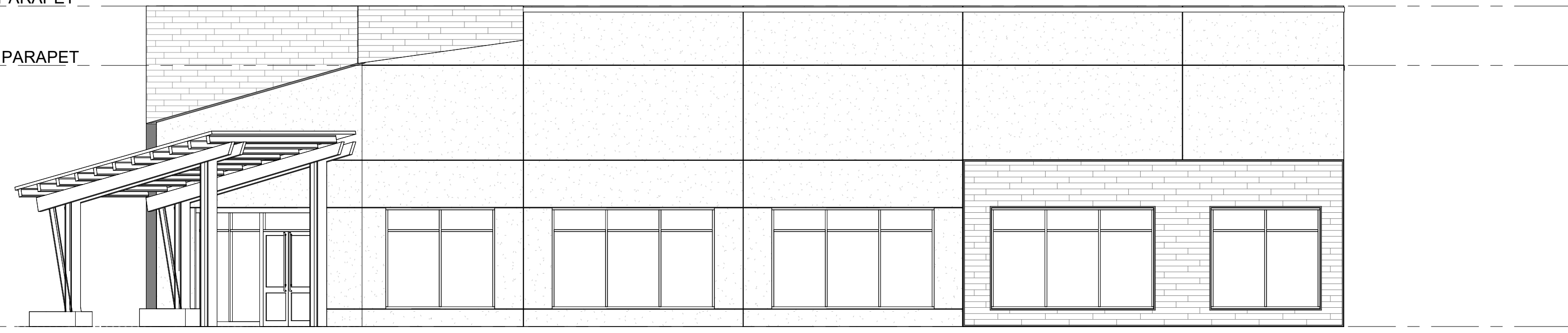


03 SOUTH ELEVATION
1/8" = 1'-0"

UPPER PARAPET
27' - 0"

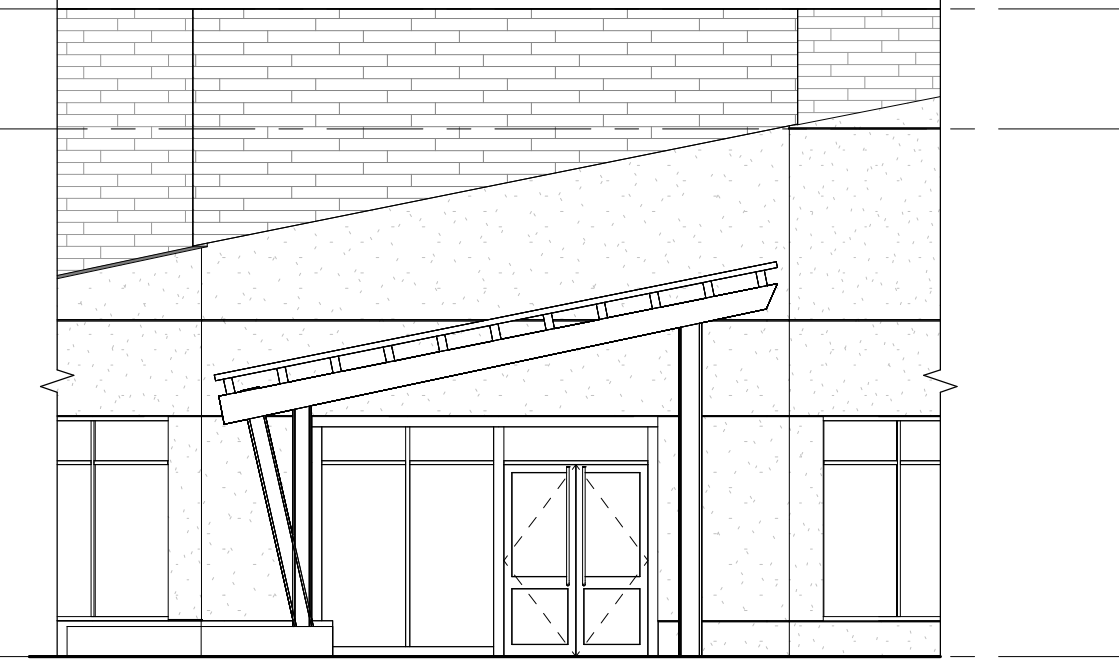
LOWER PARAPET
22' - 0"

LEVEL 1
0' - 0"



04 WEST ELEVATION
1/8" = 1'-0"

5 ENTRY ELEVATION
1/8" = 1'-0"



VARITONE
ARCHITECTURE

231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

Contractor
TBD

VALLISCOR
FERRY STREET CAMPUS

Issue: Project Status
Date: Issue Date

Revision: Date:

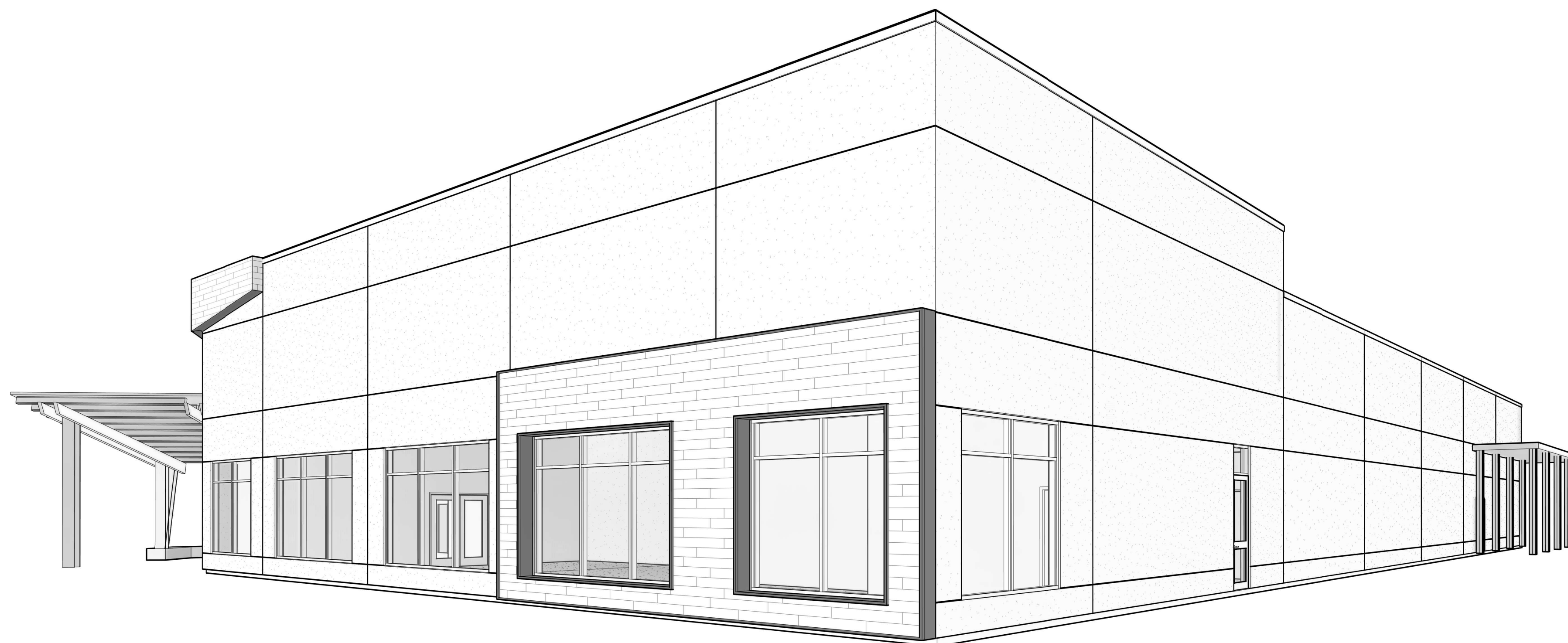
Revision	Date

EXTERIOR
ELEVATIONS

A4.00



1 ENTRY



2 SOUTHWEST CORNER

Issue:	Project Status
Date:	Issue Date
Revision:	Date: