



LANDMARKS COMMISSION AGENDA

Wednesday, May 6, 2026

6:00 p.m.

This meeting includes in-person and virtual participation.

Council Chambers

333 Broadalbin Street SW

Or join the meeting here:

<https://council.albanyoregon.gov/groups/lac/zoom>

Phone: 1 (253) 215-8782 (long distance charges may apply)

Meeting ID: 891-3470-9381 Passcode: 530561

Please help us get Albany's work done.

Be respectful and refer to the rules of conduct posted by the main door to the Chambers and on the website.

1. Call to Order and Pledge of Allegiance
2. Roll Call
3. Approval of Minutes
 - April 1, 2026 [Pages 3-6]
4. Public Comment
5. Scheduled Business
 - A. HI-05-26, Type III – Quasi-Judicial Process [Pages 7-45]
Summary: Historic Review of Exterior Alterations and Use Substitute Materials to repair/replace a deck on the eastern (front) façade and the replacement of a porch on the western (rear) façade of the house with substitute materials. The structure is located at 424 Baker Street SE. (Project Planner – Jennifer Cepello jennifer.cepello@albanyoregon.gov)
 - B. HI-06-26, Type III- Quasi-Judicial Process [Pages 46-83]
Summary: Historic Review for Exterior Alterations to add a 12-foot by 12-foot addition to the front of the house. The structure is located at 512 9th Ave SW. (Project Planner – Alyssa Schrems Alyssa.schrems@albanyoregon.gov)

Persons wanting to provide testimony may:

- 1- Email written comments to cd.testimony@albanyoregon.gov, including your name, before **noon on the day of the meeting.**

albanyoregon.gov/cd



2- To comment virtually during the meeting, register by emailing cd.testimony@albanyoregon.gov, before **noon on the day of the meeting**, with your name. The chair will call upon those who have registered to speak.

3- Appear in person at the meeting and register to speak.

6. Business from the Commission

7. Staff Updates

8. Next Meeting Date: June 3, 2026

9. Adjournment

This meeting is accessible to the public via video connection. The location for in-person attendance is accessible to people with disabilities. If you have a disability that requires accommodation, please notify city staff at least 48 hours in advance of the meeting at: cdaa@albanyoregon.gov or call 541-917-7550

Testimony provided at the meeting is part of the public record. Meetings are recorded, capturing both in-person and virtual participation, and are posted on the City website.



MINUTES

April 1, 2026

6:00 p.m.

Hybrid – Council Chambers

Approved: Draft

Call to Order

Chair Robinson called the meeting to order at 6:00 p.m.

Pledge of Allegiance

6:00 p.m.

Roll Call

Members present: Camron Settlemier, Chad Robinson, Richard Engeman, Rayne Legras, Mason Cox, Vance McDermott

Members absent: Cathy Winterrowd, Rayne Legras (both excused)

Approval of Minutes for February 4, 2026

6:01 p.m.

Commissioner Settlemier motioned for approval of the February minutes as presented. Commissioner Engeman seconded the motion. All voted for approval 6-0.

Public Comment

6:01 p.m.

Lonna Capaci, Visitor Service/Historic Resources Manager for the Albany Visitors Association (AVA) reviewed the activities that took place in March. She reported that the Walk for the Pioneering Women was a popular event and plans to repeat it for May National Historic Preservation Month. Capaci reported on the first Albany Heritage Group meeting and the topics that were discussed regarding Preservation Month and highlighted the May events planned. She announced the Annual Heritage Conference in Woodburn at the end of April. Additionally, she announced that the AVA is applying for a grant on behalf of the Monteith Historical Society to fund videos showcasing the home tours.

Scheduled Business

6:07 p.m.

HI-02-26, Type III – Quasi-Judicial Process Historic Review of Exterior Alteration and Use of Substitute Materials for construction of deck on the front façade of home at 915 Walnut Street SW.

Chair called the public hearing to order at 6:08 p.m.

Commission Declarations

- No members declared any Conflict of Interest
- No members declared any Ex-Parte Contact
- Commissioners Settlemier, Robinson, and Engeman walked by the home.
- No members abstained from the deliberation.
- There were no public challenges to participation of commission members.

Reading of Hearing Procedures

Planner III, Jennifer Cepello, read the hearing procedures.

Staff Report

6:12 p.m.

Project Planner, Alyssa Schrems, summarized the application and process for Historic Review of Exterior Alterations and Use of Substitute materials on the subject property at 915 Walnut Street SW sharing slides*. Schrems noted that there is a Victorian garden that obstructs its view from the street. She described the Review and Decision Criteria and acknowledged that the structure is considered Historic Contributing. Schrems then posed a question for the Commission whether the Use of Substitute Materials is an appropriate review for this application as there had been an addition done in 2013 and the deck added after that so added to a non-historic addition to the house.

April 1, 2026

Commissioner Settlemier asked staff about the previous decision HI-05-13. He reviewed the decision about the extension of the enclosed porch proposing the stairs be moved to where the door would be located with the handrail style similar to the front porch. But there was no mention of a deck that he found. Schrems answered that the last review was that one in 2013 for the addition. So, the deck was constructed between 2013 and now. Settlemier was unsure of the Commission's ability to review this application as the deck was never approved, and construction deviated from the previous approval. Schrems explained how they can review considering it a violation, which would put it before the commission to determine whether to approve after the fact. Settlemier interpreted that as focusing on surface replacements of the structure rather than a staircase. Schrems explained that they did notice the construction of a porch. Schrems clarified that Commissioners would be doing a first level review of whether the structure should be there.

Applicant Testimony

6:16 p.m.

Hazel Harrison, property owner, testified that the original porch was built at the same time as the extension on the house, she surmised that the contractor must not have applied for the proper permits, but she was unaware of that until now. The deck was inspected at the time. She wanted to replace the stairs for safety reasons but the only substitute materials she was requesting was for the deck floor.

Commissioner Questions

Commissioner Settlemier asked if the substitute material is already on the deck. Harrison answered yes but only found out after the fact that the contractor did not get a permit that he had been contracted to get so she was pursuing the permit after the fact. Harrison stated that the door exiting the house would need a deck to provide access.

Commissioner McDermott asked the applicant if she was aware of the required approvals for an exterior alteration. Harrison made an assumption that the contractor would be familiar with that process. When she eventually asked the contractor for the permit and he admitted not applying because he wanted to avoid the process. Commissioner McDermott then asked about information on material costs and who prepared that information. Harrison replied it was the contractor. Harrison is concerned about the unfinished work.

Public Testimony

None.

Waiver

Chair asked if the applicant wished to waive the 7-day waiting period for submitting additional written arguments. Harrison agreed to waive the waiting period.

Prior to deliberation, Schrems clarified that anything that isn't a freestanding new structure will have a historic Review for Exterior Alterations which the applicant has applied for.

Chair Robinson called the public hearing closed at 6:24 p.m.

Commission Deliberation

Commissioner Settlemier summarized the proposal indicating that the applicant originally applied to extend the enclosed porch and then put in a stairway aligned with the door with handrail to match the front porch approved in 2013. Then the deck was built later that doesn't match the approval so it's a compliance issue. He didn't have a concern with the Substitute Materials but did for the deck itself, rather than an enclosed porch. Settlemier continued that the styling of the deck is completely contemporary not matching the house or district. He commiserated with the applicant's position but didn't see a solution.

Commissioner Robinson agreed, adding that if this was purely a staircase to provide safe access to the door but not additional space to be used, they would have to discuss how much discretion they had in granting something for accessibility. But this was constructed last year and without approvals indicating contractor negligence. Robinson emphasized that they had to decide this in line with code.

April 1, 2026

Commissioner Cox shared his confusion but did concur and was concerned with the matching styles.

Commissioner Settlemier understood that there was a deck done in 2013 with the original addition but then expanded out last fall (2025) not matching what had been approved in 2013.

Commissioner Robinson surmised that in effect it is a completely new structure and he could only support denial.

Commissioner McDermott concurred with the other commissioners. He empathized with the homeowner but unfortunately, they have to apply the code uniformly. He also noted that the information provided is incomplete. McDermott offered that the applicant should have the contract and work reviewed to determine how to move forward.

Commissioner Cox asked in the event of a denial what happens to the work, whether it reverts back to the 2013 approval.

Commissioner Robinson praised the landowner for asking for the proper process now but expressed that their hands are tied.

Motion: Commissioner Settlemier moved to deny the exterior alterations and use of substitute materials as detailed in planning file number HI-02-26. This motion is based on the findings and conclusions made by the Landmarks Commission during deliberations on this matter in particular finding that the proposal is not compliant with Albany Development Code 7.150 b. Alterations compatible with historic characteristics of the area with the existing structure in matching size, scale, materials and architectural features. Commissioner McDermott seconded the Motion for Denial.

Roll call vote was called. Vote to deny the application. (6-0)

The Chair called for a recess at 6:35 p.m.

Business from the Commission

6:40 p.m.

Commissioner Engeman announced that the Albany Public Library Foundation is encouraging the city to address ADA Accessibility and to establish a Historic Preservation bookshelf/Study Center.

Preservation Month Activities

Schrems shared that Commissioner Settlemier would be doing another version of his If Walls Could Talk on May 13, 2026, at the Albany Museum at noon. Commissioner Robinson put in a request to add a history sip in the evening as well as many can't attend during the day. Settlemier will look into it.

Staff is working with AVA on an event with Matika Wilbur, a Native American photographer/educator to present her Project 562, a multi-year effort to photograph and share stories from indigenous communities.

Commissioner McDermott offered that he had spoken to Rebecca Bond about doing a window workshop in May but hadn't committed to anything yet as AVA hasn't come up with a venue yet. Schrems offered that a Farmer's Market demonstration may be an option. Commissioner Robinson noted it would be good outreach and volunteered to help. McDermott wanted to add that on May 9, 2026, there is a Window Workshop happening in Salem so to avoid that date.

Commissioner Cox recalled suggesting previously that perhaps University of Oregon (U of O) graduate students might be interested in presenting on historic inventory, or similar topics, he offered to lead that. Schrems shared that professors were very interested, but they were in the midst of moving that program from Portland State University to U of O so administratively too much to organize at this time.

Business from Staff

Schrems noted that they are working on the contract with Marika's presentation on May 21, 2026, at 6:00 p.m. at Linn-Benton Community College.

April 1, 2026

Next Meeting Dates

The next meeting is scheduled for May 6, 2026, at 6:00 p.m.

Adjournment

Hearing no further business Chair Robinson adjourned the meeting at 6:52 p.m.

Respectfully submitted,

Reviewed by,

Susan Muniz
Recorder

Alyssa Schrems
Planner II

**Documents discussed at the meeting that are not in the agenda packet are archived in the record. The documents are available by emailing cdaa@albanyoregon.gov.*



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | COMMUNITY DEVELOPMENT 541-917-7550

Staff Report

Historic Review of Exterior Alteration and Substitute Materials

HI-05-26

April 29, 2026

Summary

This staff report evaluates a Historic Review of Exterior Alterations and Substitute Materials for a home on a developed lot within the Hackleman National Register Historic District (Attachment A). The applicant proposes to replace two exterior porches and stairs, one upon the eastern façade and the other upon the western façade.

Application Information

Review Body:	Landmarks Commission (Type III review)
Staff Report Prepared By:	Jennifer Cepello, Planner III
Property Owner:	Tim Siddiqui; 424 Baker Street SE, Albany, OR 97321
Applicant:	Brent Mosser; 620 Queen Avenue SW, Albany, OR 97322
Address/Location:	424 Baker Street SE
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-03W-07BA, Tax Lot 600
Zoning:	Hackleman Monteith (HM) District (Hackleman National Register Historic District)
Total Land Area:	3,082 square feet
Existing Land Use:	Single Dwelling Unit
Neighborhood:	Central Albany
Surrounding Zoning:	North: Hackleman Montieth (HM) East: HM South: HM West: Lyons Ellsworth (LE)
Surrounding Uses:	North: Single Unit Residences, Commercial East: Single Unit Residences South: Single Unit Residences West: Commercial
Prior History:	None

Notice Information

On April 15, 2026, a notice of public hearing was mailed to property owners within 100 feet of the subject property. On April 15, 2026, notice of public hearing was also posted on the subject site. As of the writing of this staff report, no comments have been received.

Analysis of Development Code Criteria

Exterior Alteration Criteria (ADC 7.120)

- 1. The Director will approve residential alteration requests if one of the following criteria is met:**
 - a. There is no change in historic character, appearance, or material composition from the existing structure.**
 - b. The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.**
 - c. The proposed alteration is not visible from the street.**
- 2. For all other requests, the Landmarks Commission will review and process the alteration proposal. The applicant and adjoining property owners within 100 feet will receive notification of the Landmarks Commission public hearing on the proposal. The Landmarks Commission will accept written and verbal testimony on the proposal. For buildings on the Special Assessment of Historic Property Program, the Landmarks Commission decisions will be forwarded to the State Historic Preservation Office.**

Findings of Fact

- 1.1 According to the Historic Resource Survey (Attachment B), the existing residence was constructed circa 1900 in a Vernacular style with a Queen Anne/Colonial architectural style influence. The residence is a wood framed structure with drop siding, with a hipped roof with frieze board and a hip roofed entryway on the front elevation supported by Tuscan columns. The front (east) façade contains an enclosed banister, a classically molded head front door and has vinyl siding installed around 1995. Decorative features of the structure include slanted bay windows upon the east (front) and north (side) facades and the Tuscan columns supporting the hip roofed entryway upon the front façade. The subject property is located within the Hackleman National Register Historic District and is rated as Historic Contributing. The residential structure is not part of the Special Assessment of Historic Property Program.
- 1.2 The residence is located at 424 Baker Street on a 3,082-square foot lot at the corner of Baker Street and an unnamed half-block alley located between 4th Avenue and 5th Avenue (Attachment A). The residence is setback approximately six feet from the property line along Baker Street and along the property line abutting the half-block alley.

- 1.3 Exterior alterations proposed with this application include removal and replacement of the front porch and stairs along the east (front) façade, and the removal and replacement of the back yard porch and stairs along the west (rear) facade of the existing dwelling. These proposed alterations will be visible from Baker Street and the half-block alley, both are public right-of-way; therefore, the proposed development will be reviewed and processed by the Landmarks Commission.

Exterior Alteration Criteria (ADC 7.150)

For applications other than the use of substitute materials, the review body must find that one of the following criteria has been met in order to approve an alteration request.

- 1. The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure; OR**
- 2. The proposed alteration is compatible with the historic characteristics of the area and with the existing structure in massing, size, scale, materials, and architectural features.**

ADC 7.150 further provides that the review body will use the Secretary of the Interior's Standards for Rehabilitation as guidelines in determining whether the proposed alteration meets the review criteria.

Secretary of Interior's Standards for Rehabilitation – (ADC 7.160)

The following standards are to be applied to rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
- 2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.**
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be**

substantiated by documentary, physical, or pictorial evidence.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic material shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Findings of Fact

- 1.1 Location and Historic Character of the Area. The subject property is located at 424 Baker Street SE in the Hackleman Monteith (HM) zoning district and within the Hackleman National Register Historic District. The surrounding properties to the north, east, and south are located with-in the Hackleman Monteith (HM) zoning district; properties to the west are located within the Lyon-Ellsworth (LE) zoning district. The surrounding properties to the east and south are developed with a mix of residential uses; the properties to the north and west are developed with a mix of residential and commercial uses as the zoning boundaries change from HM to LE.
- 1.2 Historic Rating. The subject building is rated as a Historic Contributing resource in the Hackleman National Register Historic District.
- 1.3 History and Architectural Style. The nomination form lists the architectural style of the building as 20th Century Vernacular with Queen Anne and Colonial influences (Attachment B).
- 1.4 Prior Alterations. Around 1995 the wood siding upon the structure was replaced with vinyl siding. No other exterior alterations have occurred upon the existing dwelling.
- 1.5 Proposed Exterior Alterations. The applicant proposes to replace two existing porches, one upon the eastern (front) façade and the other is upon the western (rear) facade of the existing residential structure (Attachment C). Exterior renovations, which are subject to historic review include the following:
 - a. Front Porch and Stairs: The applicant proposes to replace the existing front porch. The existing porch is constructed with fir planks and contains a guard wall, all of which are in disrepair. The existing structural framing of the porch is to remain as is. The applicant proposes replacing the deck with Deckorators Porch flooring (a composite material), the stairs will be replaced within the existing footprint and will be constructed with the same

Deckorators Porch flooring. The guard walls and rail will be replaced with square, cedar balusters and be 36-inches in height to meet the current building code requirements. A visual of the proposed materials can be found under Attachment D.6.

- b. Rear Porch and Stairs: The applicant proposes to replace the rear porch's framing with pressure treated lumber and the deck portion replaced with the Trex Enhance composite decking in Toasted Sand color and cedar fascia-mounted guard rail. The replacement materials would have the same width (1x6) with wood grain texture and slight color variation, similar to an aged fir deck surface. A visual of the proposed materials can be found under Attachment D.10.

The Landmarks Commission has the discretion to determine if criterion ADC 7.150(2) is met.

- 1.6 Building Use (ADC 7.160(1)). The building was originally used as a single dwelling unit and it continues to be used in this manner. Only minimal exterior alterations are needed in association with the proposed use, which is consistent with ADC 7.160(1).
- 1.7 Historic Character (ADC 7.160(2)). The structure was constructed in 1900 in a 20th Century Vernacular style with Queen Anne and Colonial architectural influences. Decorative features include two slanted bay windows, one upon the eastern (front) façade and the other upon the northern (side) façade, and Tuscan columns supporting the hipped roof.

The eastern (front) façade porch's alterations include the existing guard wall, which is clad with vinyl siding and is too short to comply with current building code. Current building code requires guard walls and rails to be 36-inches in height. The existing structural members are to remain unchanged, except for the replacement stairs, which will have the same footprint as the existing but will be constructed with 1x4 tongue and groove Deckorators Porch Flooring (Attachment D.6). The replacement will provide a guard rail with square, cedar balusters and will be located along the stairs rather than attached to the structure. The applicant finds these alterations will bring the appearance of the porch closer to a typical 1920's guard as the building was relocated to the site in 1925. The improvements will maintain the Tuscan columns supporting the cover above, which will remain unchanged. The applicant states the modifications will preserve a more typical early 1900 design. (Attachment D.2).

- 1.8 Historic Record & Changes (ADC 7.160(3) and (4)). The structure was constructed around 1900 in a 20th Century Vernacular style with Queen Anne and Colonial architectural influences. The applicant proposes the replacement of two separate porches, one upon the eastern (front) façade, and the other upon the western (rear) façade. Based upon the submitted application materials, the applicant does not propose to add or incorporate conjectural features or architectural elements to the dwelling. The proposed replacement porches do not impact any changes to the structure that has acquired historical significance in its own right. Based upon these facts, the standards in ADC 7.160(3) and (4) are met.

- 1.9 Distinctive characteristics (ADC 7.160(5)). The application does not indicate any changes to any features, finishes, construction techniques, or examples of craftsmanship with the replacement of the two porches. Based on these facts, the proposal appears to be consistent with ADC 7.160(5).
- 1.10 Deteriorated Features (ADC 7.160(6)). The applicant proposes to replace the existing porches due to deterioration. The porch upon the western facade does not appear to have any historical features and is significantly newer than the existing dwelling. The eastern porch contains the unique Tuscan columns and appears to be partially original to the dwelling. As previously discussed the eastern porch's guard has been modified at some point with the addition of vinyl coverings. The applicant proposes to replace the eastern porch and restore it to a more historically correct character.
- The Commission may determine if this criterion is met.
- 1.11 Use of Chemical or Physical Treatments (ADC 7.160(7)). The applicant does not propose the use of any chemical or physical treatments in relation to the construction of the addition. Based on these facts. The standards in ADC 7.160(7) are met.
- 1.12 Significant Archaeological Resources (ADC 7.160(8)). No ground disturbing work is proposed with this application. As no groundwork is proposed, no disturbance of any archaeological resources is anticipated. Based on these facts, this standard appears to be met.
- 1.13 Historic Materials (ADC 7.160(9)). The applicant proposes to replace the existing porch with Trex Enhance composite decking. The proposed alterations will be differentiated from the original features due to the materials being proposed. The applicant proposes to replace both porches using the existing footprint and does not propose to alter any original architectural features upon the structure.
- 2.9 New Additions (ADC 7.160(10)). The applicant does not propose any new additions with this application as the request is to replace two existing porches.

Conclusions

- 2.1 The Commission may determine if the Secretary of the Interior's standards are met.

Historic Review of the Use of Substitute Materials (ADC 7.170-7.225)

ADC eligibility for the use of substitute materials (ADC 7.200(1)) and review criteria for Historic Review of the Use of Substitute Materials (ADC 7.200) are addressed in this report for the proposed development. The criteria must be satisfied to grant approval for this application. Code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Eligibility for the Use of Substitute Materials (ADC 7.200)

The City of Albany interprets the Secretary of Interior's Standards for Rehabilitation on compatibility to allow substitute siding and windows only under the following conditions:

The building or structure is rated historic non-contributing; OR

In the case of historic contributing buildings or structures, the existing siding, windows or trim is so deteriorated or damaged that it cannot be repaired and finding materials that would match the original siding, windows or trim is cost prohibitive.

Any application for the use of substitute siding, windows, and/or trim will be decided on a case-by-case basis. The prior existence of substitute siding and/or trim on the historic buildings on the Local Historic Inventory will not be considered a factor in determining any application for further use of said materials.

Findings of Fact

1.1 Eligibility and Existing Conditions. The residence is rated as a Historic Contributing resource in the Hackleman National Register Historic District. The applicant proposes to replace two existing porches, one upon the eastern (front) façade, and the other upon the western (rear) facade. The existing porches are constructed with fir wood. The application materials provided photos of the existing porches proposed to be replaced.

1.2 Substitute Materials. The eastern (front) façade porch is to have the decking, guard wall, guard rail, and stairs replaced. The existing structural framing of the porch is to remain as is. The applicant proposes replacing the deck with Deckorators Porch flooring (a composite material), the stairs will be replaced within the existing footprint and will be constructed with the same Deckorators Porch flooring. The replacement guard walls and rail will be replaced with square, cedar balusters.

The western (rear) façade porch will be replaced using pressure treated lumber for the framing, 1x6 Trex Enhance composite decking boards with hidden fasteners between the boards and a cedar fascia-mounted guard rail.

The applicant will have an opportunity to provide additional information regarding the cost prohibitive nature of original materials at the Hearing.

Conclusions

1.1 The residence is rated as a Historic Contributing resource in the Hackleman National Historic District and is therefore not eligible for review under the first threshold in ADC 7.200.

1.2 The proposed replacement porches will contain substitute materials consisting of Tex Enhance composite decking, cedar guard walls and rails, and pressure treated lumber.

Design and Application Criteria for the Use of Substitute Materials (ADC 7.210)

Criterion 1

The proposed substitute materials must approximate in placement, profile, size, proportion, and general appearance of the existing siding, windows or trim.

Findings of Fact and Conclusions

- 1.1 The property owner proposes to replace two existing porches, one upon the eastern (front) façade, and the other upon the western (rear) façade. Both existing porches are constructed with fir wood planks. The eastern (front) façade porch's guard wall has been sided with vinyl and is separated by three Tuscan columns. The applicant proposes replacing the deck and the stairs using the same 1x4 tongue and groove Deckorators Porch flooring. The proposed deck flooring is a medium brown, Chickory, coloration and will have a wood grain texture. The replacement guard walls and rail will be replaced with square, cedar balusters. The replaced guard rail will be moved along the stairs and away from the existing structure (Attachment D.2).
- 1.2 The western (rear) façade porch will be replaced using pressure treated lumber for the framing, 1x6 Trex Enhance composite decking boards in a Toasted Sand color with hidden fasteners between the boards, and a cedar fascia-mounted guard rail. The applicant notes the western porch is located behind a fence, with only the guard railing visible from the public right-of-way.
- 1.3 The Commission may determine if this criterion is met.

Criterion 2

Substitute siding, windows and trim must be installed in a manner that maximizes the ability of a future property owner to remove the substitute materials and restore the structure to its original condition using traditional materials.

Findings of Fact and Conclusions

- 2.1 Based on the plans, all installed materials can be removed and replaced later if needed without considerable damage to the structure.
- 2.2 This criterion has been satisfied.

Criterion 3

The proposed material must be finished in a color appropriate to the age and style of the house, and the character of both the streetscape and the overall district. The proposed siding or trim must not be grained to resemble wood.

Findings of Fact and Conclusions

- 3.1 The applicant states they plan on replacing two existing porches. The application materials indicated the replacement materials for the eastern (front) façade will be 1x4 tongue and groove Deckorators Porch flooring and cedar guard walls and rails. Pictures of the proposed materials can be found under Attachment D.6. The western (rear) façade porch will be replaced with treated lumber for the framing, 1x6 Trex Enhance composite decking boards in a Toasted Sand color with hidden fasteners between the boards, and a cedar fascia-mounted guard rail.

3.2 The Commission may determine if this criterion is met.

Criterion 4

The proposed siding, windows or trim must not damage, destroy, or otherwise affect decorative or character-defining features of the building. Unusual examples of historic siding, windows and/or trim may not be covered or replaced with substitute materials.

Findings of Fact and Conclusions

4.1 The Local Historic Survey (Attachment B) noted the front entrance contains Tuscan columns. The applicant states the existing structure members [Tuscan columns] will remain unchanged. The alterations to the eastern (front) façade porch will replace the stairs, the guard wall, and the guard along the stairway. The Landmarks commission has the discretion to determine if the applications meet this standard.

4.2 The Commission may determine if this criterion is met.

Criterion 5

The covering of existing historic wood window or door trim with substitute trim will not be allowed if the historic trim can be reasonably repaired. Repairs may be made with fiberglass or epoxy materials to bring the surface to the original profile, which can then be finished, like the original material.

Findings of Fact and Conclusions

5.1 The application is limited to the replacement of the existing porches upon the structure's eastern (front) and western (rear) façades. The application does not include any alterations to windows or door trim.

5.2 Based on these facts, this criterion is satisfied.

Criterion 6

Substitute siding or trim may not be applied over historic brick, stone, stucco, or other masonry surfaces.

Findings of Fact and Conclusions

6.1 The applicant does not propose to install any siding or trim over historic brick, stone, stucco, or other masonry surfaces.

6.2 Based upon these facts, this criterion is satisfied.

Criteria 7 - 14

For the application of substitute siding and trim only:

Findings of Fact and Conclusions

The applicant is not proposing alterations of the existing siding and trim; therefore, criteria 7 through 14 do not apply to this application.

Overall Conclusions

The proposal seeks to replace two existing porches, one upon the eastern (front) façade and one upon the western (rear) façade, with substitute materials.

Staff finds all applicable criteria could be met with conditions for Exterior Alterations and the Use of Substitute Materials.

Options

The Landmarks Commission has three options with respect to the subject application:

Option 1: Approve the request as proposed;

Option 2: Approve the request with conditions of approval;

Option 3: Deny the request.

Motions

Approval: I move to approve the use of substitute materials including conditions of approval as noted in the staff report for application planning file no. HI-05-26. This motion is based on the findings and conclusions in the April 29, 2026, staff report and findings in support of the application made by the Landmarks Commission during deliberations on this matter.

Approval with new conditions of approval: I move to approved the Use of Substitute Materials including conditions of approval as **drafted during this meeting** for application planning file no. HI-05-26. This motion is based on the findings and conclusions in the April 29, 2026, staff report and findings in support of the application made by the Landmarks Commission during deliberations on this matter.

Denial: I move to deny the exterior alterations as detailed in planning file no. HI-05-26. This motion is based on the findings and conclusions made by the Landmarks Commission during deliberations on this matter.

Conditions of Approval

Condition 1 Historic Review – The proposed development shall be performed and completed as specified in the staff report. Deviations from these descriptions may require additional review.

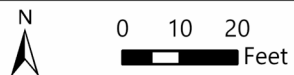
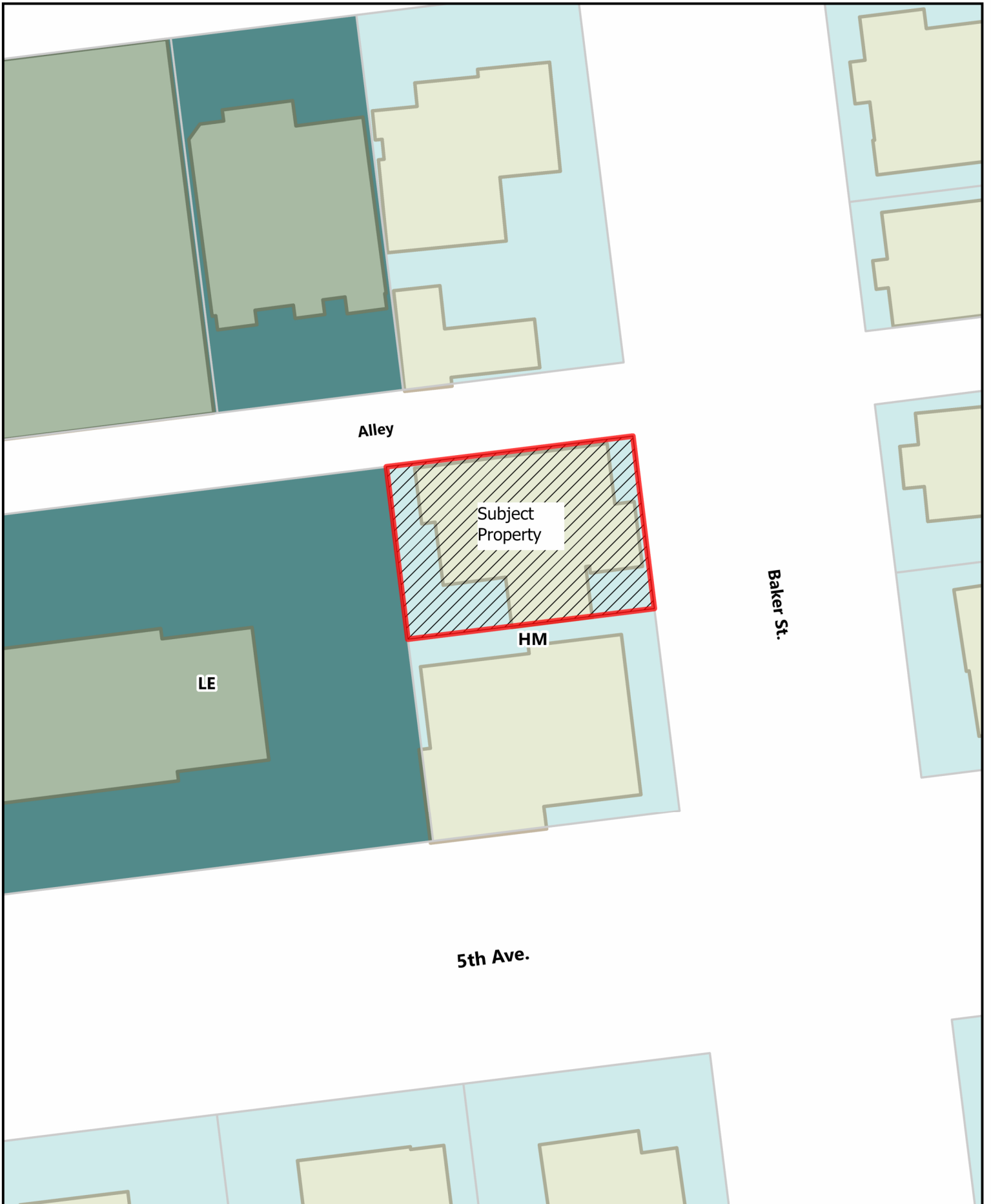
Condition 2 Historic Review – A final historic inspection is required to verify that the work has been done according to this application. Please call the historic planner (541-791-0176) a day or two in advance to schedule.

Attachments

- A. Location Map
- B. Historic Resource Survey
- C. Applicant's Submittal
- D. Building Elevations
- E. Applicant Photos

Acronyms

ADC	Albany Development Code
HI	Historic file designation
HM	Hackleman Monteith Zoning District
LE	Lyons Ellsworth Zoning District



Date: 4/9/2026 Map Source:

424 Baker Street SE

Location Map

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY - ALBANY
HISTORIC DISTRICT

Attachment B.1

COUNTY: Linn

HISTORIC NAME: None	ORIGINAL USE: Residence
COMMON NAME: None	CURRENT USE: Residence
ADDRESS: 424 Baker St. SE	CONDITION: Good
ADDITIONAL ADDRESS: NONE	INTEGRITY: Fair MOVED? N
CITY: Albany	DATE OF CONSTRUCTION: c.1900
OWNER: Tariq S. Siddiqui	THEME 20th Century Architecture
CATAGORY: Building	STYLE: Vernacular
LOCATION Hackleman Historic District	ARCHITECT UNKNOWN
MAP NO: 11S03W07BA TAX LOT: 00600	BUILDER: UNKNOWN
BLOCK: 5 LOT 5	QUADRANGLE Albany ASSESSMENT: N
ADDITION NAME: Eastern Addition	ORIGINAL RATING: Secondary
PIN NO: 11S03W07BA00600 ZONING HM	CURRENT RATING: Historic Contributing

PLAN TYPE/SHAPE: Irregular	NO. OF STORIES: 1
FOUNDATION MAT.: Concrete	BASEMENT Y
ROOF FORM/MAT.: Hipped	PORCH: Hipped
STRUCTURAL FRAMING: Balloon	
PRIMARY WINDOW TYPE: 1/1 Double Hung	
EXTERIOR SURFACING MATERIALS: Vinyl siding	
DECORATIVE FEATURES: Slanted bay windows (N,E), Tuscan columns	

EXTERIOR ALTERATIONS/ADDITIONS:
Vinyl siding c.1995

NOTEWORTHY LANDSCAPE FEATURES:
None

ADDITIONAL INFO:
None

INTERIOR FEATURES:
None

LOCAL INVENTORY NO.: H.170
CASE FILE NUMBER: None

SHPO INVENTORY NO.: None

Report printed 02/22/2001 18

HISTORIC RESOURCE SURVEY -ALBANY
HACKLEMAN HISTORIC DISTRICT -PAGE TWO

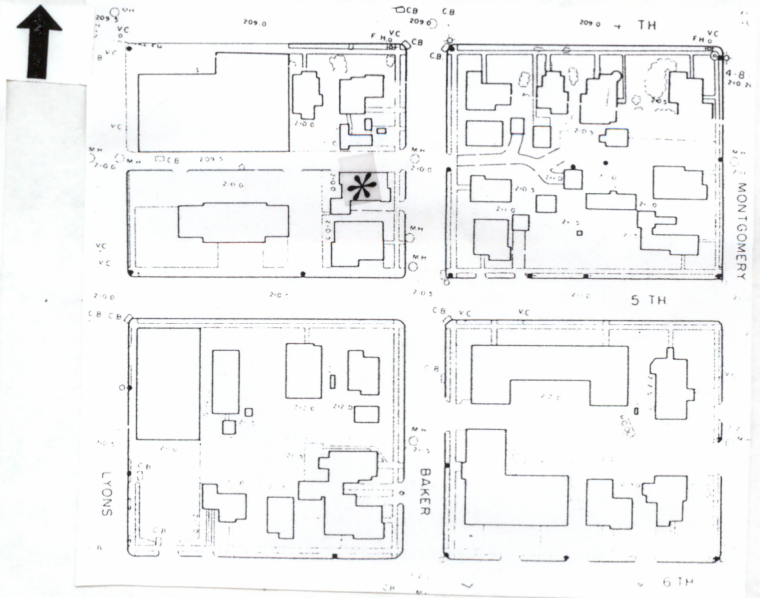
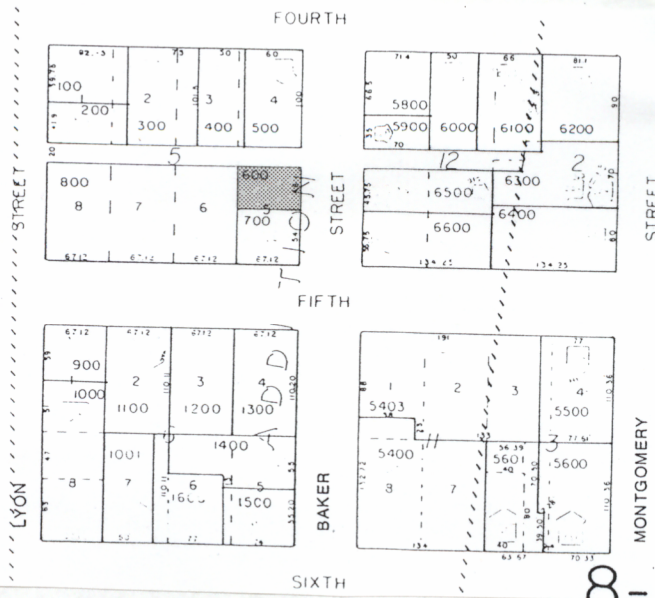
NAME: Tariq S. Siddiqui
ADDRESS: 424 Baker St. SE
QUADRANGLE: Albany

T/R/S:T11-R3W-S07
MAP NO.:11-3W-07BA
TAX LOT: 00600



NEGATIVE NO.: I-15

SLIDE NO.: H.170



GRAPHIC & PHOTO SOURCES: Albany Community Development Planning Division & Tanya Neel.

**OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY
ALBANY**

COUNTY: Linn

HISTORIC NAME: _____ **ORIGINAL USE:** Resi
COMMON NAME: _____ **CURRENT USE:** Resi
ADDRESS: 424 Baker **CONDITION:** good
CITY: Albany **INTEGRITY:** fair **MOVED:** —
OWNER: ~~Millard & Darlene Wallis~~ **DATE OF CONSTRUCTION:** c. 1900
CATAGORY: Bldg **THEME:** 19th Century Architecture
LOCATION: Monticth Historic District **STYLE:** Vernacular
ASSOCIATED FEATURES: garage **ARCHITECT:** _____
MAP NO: 11-3W-07BA **TAX LOT:** 00600 **BUILDER:** _____
BLOCK: 5 **LOT:** 5 **QUADRANGLE:** Albany
ADDITION NAME: Eastern Addition **LOCAL RANKING:** (Secondary) altered historic
PIN NO.: _____ **ZONING:** Hm **SPECIAL ASSMENT:** no

PLAN TYPE/SHAPE: Irregular **NUMBER OF STORIES:** 1
FOUNDATION MATERIAL: Concrete **BASEMENT:** yes
ROOF FORM MATERIALS: Hipped **PORCH:** Hipped
STRUCTURAL FRAMING: Balloon
PRIMARY WINDOW TYPE: 1/1 DH
EXTERIOR SURFACING MATERIALS: PRIMARY: vinyl DECORATIVE:
DECORATIVE: slanted Bay windows (north, east), Tuscan columns
EXTERIOR ALTERATIONS/ADDITIONS: vinyl siding c1995

NOTEWORTHY LANDSCAPE FEATURES:**OTHER:****RECORDED BY:** Roz Keeney**DATE:** 07/96**LOCAL INVENTORY NO.:** H. 170**SHPO INVENTORY NO.:****CASE FILE NO.:**

Linn County Tax Data File

4-30

Tax lot #..... 11S03W07BA00600
Tax acct #.... 0089801
Site address.. 424 BAKER ST SE

In-City? Y

Owner..... SIDDIQUI, TARIQ S
Address-1..... 424 BAKER ST SE
Address-2..... ALBANY OR 97321-0000
Address-3.....
Address-4.....
Address-5.....

Property class... 1010 Tax Code #1...0801
Stat class..... 000 Tax Code #2...0000

Land market value... 20,150
Imp. market value... 58,990

Linn County Tax Data File

Tax lot #..... 11S03W07BA00600
Tax acct #..... 0089801
Site address.. 424 BAKER ST SE

In-City? Y

Owner..... WILLIS, MILLARD JAMES
Address-1..... WILLIS, DARLENE SUE
Address-2..... SIDDIQUI, TIM S AGT
Address-3..... 424 BAKER ST SE
Address-4..... ALBANY OR 97321-0000
Address-5.....

Property class... 1010 Tax Code #1...0801
Stat class..... 000 Tax Code #2...0000

Land market value... 20,150
Imp. market value... 58,990

72. 424 Baker S.E.
Significance: Secondary
Use: Residence
Date: c. 1900

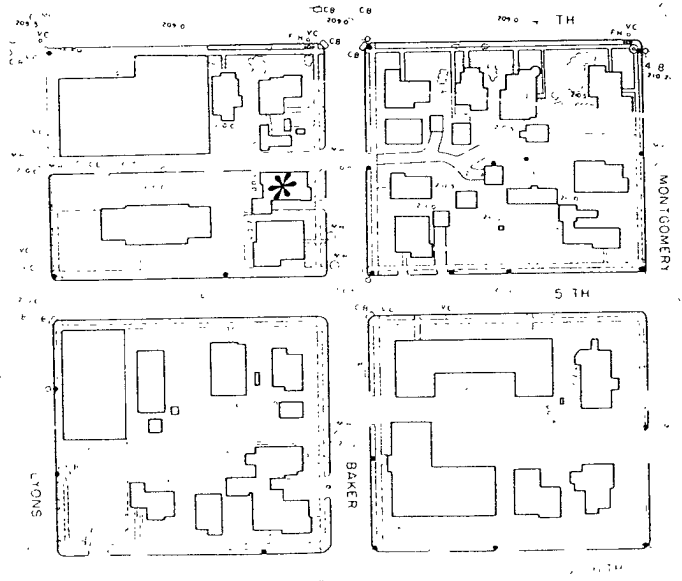
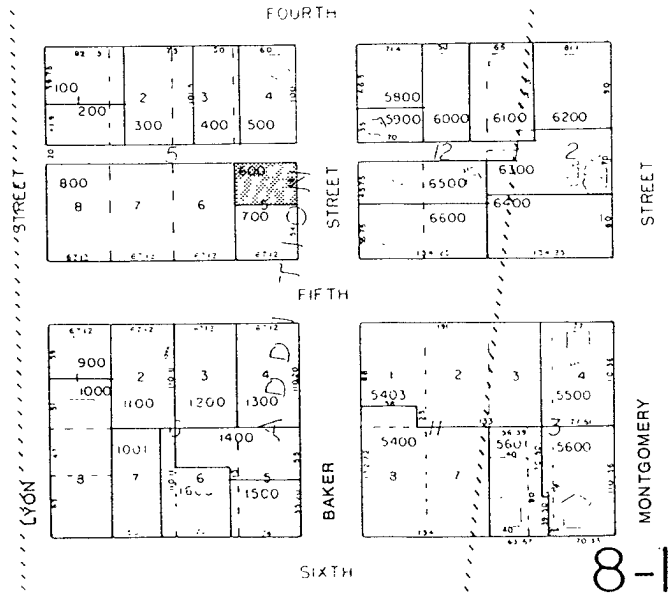
Present Owner: Millard Willis
~~P.O. Box 945~~ 434 Baker SE
Albany, OR 97321
Tax Lot: 11-3W-7BA, TL 600

Description:

One story, wood frame structure; drop siding; hip roof with frieze board; hip roofed entryway on front elevation supported by Tuscan columns, enclosed bannister. Front door has classically molded head and surround and side lights, front bay on front elevation, windows are double-hung, one over one. Basement; gable roof; separate garage with barn doors; concrete foundation.

Remarks: Style is Queen Anne/Colonial, and the condition is good to fair.

424 Baker



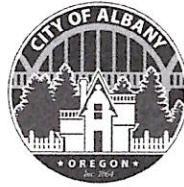
424 Baker
I15



424 Barker
I13







COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

Historic Review of Exterior Alterations

Checklist and Review Criteria

INFORMATION AND INSTRUCTIONS:

- See fee schedule for filing fee (subject to change every July 1): staff will contact you for payment after submittal.
- All plans and drawings must be to scale, and review criteria responses should be provided as specified in this checklist.
- Application and materials must be submitted online through Accela at <http://www.albanyoregon.gov/permits>. Please call 541-917-7550 if you need assistance.
- Depending on the complexity of the project, paper copies of the application may be required.
- Before submitting your application, please check the following list to verify you are not missing essential information. An incomplete application will delay the review process.

HISTORIC REVIEW OF EXTERIOR ALTERATIONS SUBMITTAL CHECKLIST:

PLANNING APPLICATION FORM WITH AUTHORIZING SIGNATURES.

PROPERTY AND PROJECT INFORMATION.

Submit the following information (separately or on this page):

1. Historic District:

Monteith Hackleman Downtown Local Historic Commercial/Airport

2. Historic rating:

Historic Contributing Historic Non-Contributing Non-Historic (post 1945)

3. Year Built: 1900 Architectural Style(s): Vernacular

4. Years of exterior alterations, if any: 1995 - vinyl siding

5. Please describe the proposed alteration(s) and the purpose of the alterations: _____

The existing fir porch planks, guard wall, and stairs are in disrepair. We are proposing a replacement of the existing porch planks with composite porch decking of the same dimensions and similar appearance. Existing structural members to remain unchanged, except for the replacement of the stairs (with the same footprint as existing and using the same Deckorators Porch Flooring). In addition, the guard wall on the front porch would be replaced with 36" cedar guard rail, and the guard along the stairway would be modified to receive similar cedar guard rail.

CONSTRUCTION PLANS/ELEVATION DRAWINGS. Provide construction plans, architectural drawings or schematics showing detailed building elevations and exterior plans, and dimensions of all altered or new elements, including foundation, windows, and the setbacks to the property lines, materials proposed, profile/design, etc. If construction plans or drawings are not applicable to your project, then

albanyoregon.gov/cd



Design and Application Criteria for Exterior Alterations:

Criterion: The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure.

Facts: The existing guard wall in need of repair/replacement is clad with vinyl siding and is too short to comply with modern building code, requiring a 36" guard. The proposed replacement will be cedar guard rail with square, cedar balusters, bringing the appearance closer to a typical 1920's guard as the building was relocated to the site in 1925. The existing turned columns supporting the cover above will remain unchanged, preserving a more typical early 1900's design. The proposed composite porch decking, substituted for fir, will have a medium brown color with a wood grain texture and coloration, similar to an aged fir porch decking.

Conclusion: Replacing the existing vinyl-clad guard with cedar guard will more closely approximate the porch's historic character and appearance.



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

Historic Review of Substitute Materials

Checklist and Review Criteria

INFORMATION AND INSTRUCTIONS:

- See fee schedule for filing fee (subject to change every July 1); staff will contact you for payment after submittal.
- All plans and drawings must be to scale, and review criteria responses should be provided as specified in this checklist.
- Application and materials must be submitted online through Accela at <http://www.albanyoregon.gov/permits>. Please call 541-917-7550 if you need assistance.
- Depending on the complexity of the project, paper copies of the application may be required.
- Before submitting your application, please check the following list to verify you are not missing essential information. An incomplete application will delay the review process.

REQUIRED ATTACHMENTS AND CHECKLIST:

- PLANNING APPLICATION FORM WITH AUTHORIZING SIGNATURES.**
- HISTORIC INFORMATION.** Provide a copy of the historic information about the building and proposed project below.
- WRITTEN DESCRIPTION/DRAWINGS.** Detail where the substitute material is proposed, the type of substitute materials, proposed dimensions, and proposed methods of application of substitute materials and preservation of the original materials and architectural elements.
- PHOTOGRAPHS.** Please submit any photos that clearly show the current condition of the area intended to be altered by the application of substitute materials.
- PEST AND DRY ROT INSPECTION REPORT.** The City may require a pest and dry rot inspection and a report assessing the structure's condition.
- REVIEW CRITERIA RESPONSES.** In a separate document, prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the review criteria found on pages 2 & 3.
- HISTORIC PROPERTY INFORMATION & PROJECT DESCRIPTION**
Submit the following information (separately or submit this page):
 1. Historic District:
 - Monteith Hackleman Downtown Local Historic Commercial/Airport
 2. Historic rating:
 - Historic Contributing Historic Non-Contributing Non-Historic (post 1945)
 3. House Architectural Style(s): Vernacular

albanyoregon.gov/cd



- 4. Construction Date: 1900
- 5. Please explain in detail what original features (siding, windows, trim, etc.) are proposed to be replaced. For windows, measurements are needed for each window proposed to be replaced. At least one photograph of each window is required to show the condition of all window parts.

(see attached)

- 6. **Proposed materials and application methods.** Include dimensions and design details for each new window. (Note: new windows must match the style and profile of the original windows. For example, a single-pane sash must be replaced with a single-pane sash; a six-pane sash must be replaced with a six-pane sash.)
- 7. How will the original materials and architectural features/elements be preserved?

(see attached)

REVIEW CRITERIA RESPONSES. On a **separate page** please prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the following review criteria (ADC 7.200 and 7.210). Each criterion must have at least one finding of fact and conclusion statement. (See Example Findings of Fact on page 3.)

Eligibility for the Use of Substitute Materials. The City of Albany interprets the Secretary of Interior’s Standards for Rehabilitation on compatibility to allow substitute siding and windows only under the following conditions:

- 1. The building or structure is rated historic non-contributing OR, in the case of historic contributing buildings or structures, the existing siding, windows, or trim is so deteriorated or damaged that it cannot be repaired and finding materials that would match the original siding, windows or trim is cost prohibitive.

Any application for the use of substitute siding, windows, and/or trim will be decided on a case-by-case basis. The prior existence of substitute siding and/or trim on the historic buildings on the Local Historic Inventory will not be considered a factor in determining any application for further use of said materials.

Design and Application Criteria for Substitute Materials. For buildings or structures rated historic contributing or historic non-contributing, the application for the use of substitute materials on siding, windows or trim must follow these guidelines:

- 1. The proposed substitute materials must approximate in placement, profile, size, proportion, and general appearance the existing siding, windows, or trim.
- 2. Substitute siding, windows, and trim must be installed in a manner that maximizes the ability of a future property owner to remove the substitute materials and restore the structure to its original condition using traditional materials.

5. Please explain in detail what original features are proposed to be replaced.

The existing fir porch planks, guard wall, and stairs are in disrepair. We are proposing a replacement of the existing 1x4 tongue and groove fir porch planks with 1x4 tongue and groove composite porch decking (Deckorators Porch Flooring in Chicory) installed with flooring nails, as existing. Existing structural members to remain unchanged, except for the replacement of the stairs (with the same footprint as existing and using the same Deckorators Porch Flooring). In addition, the guard wall on the front porch would be replaced with 36" cedar guard rail, and the guard along the stairway would be modified to receive similar cedar guard rail.

7. How will the original materials and architectural features/elements be preserved?

The existing front porch has vinyl siding installed around the skirted base. This wall will remain unchanged. The existing vinyl-clad guard wall above the porch surface would be removed and the replacement guard would be a 36" handrail with square, cedar balusters, bringing the appearance closer to a typical 1920's guard as the building was relocated to the site in 1925. The existing turned columns supporting the cover above will remain unchanged, preserving a more typical early 1900's design. The composite porch decking (Deckorators Porch Flooring in Chickory), substituted for fir, will have a medium brown color with a wood grain texture and coloration, similar to an aged fir porch decking. This product is expected to sustain weather much longer than modern natural wood materials. It will also be installed similar to natural fir decking and could be removed in the future in a similar manner.

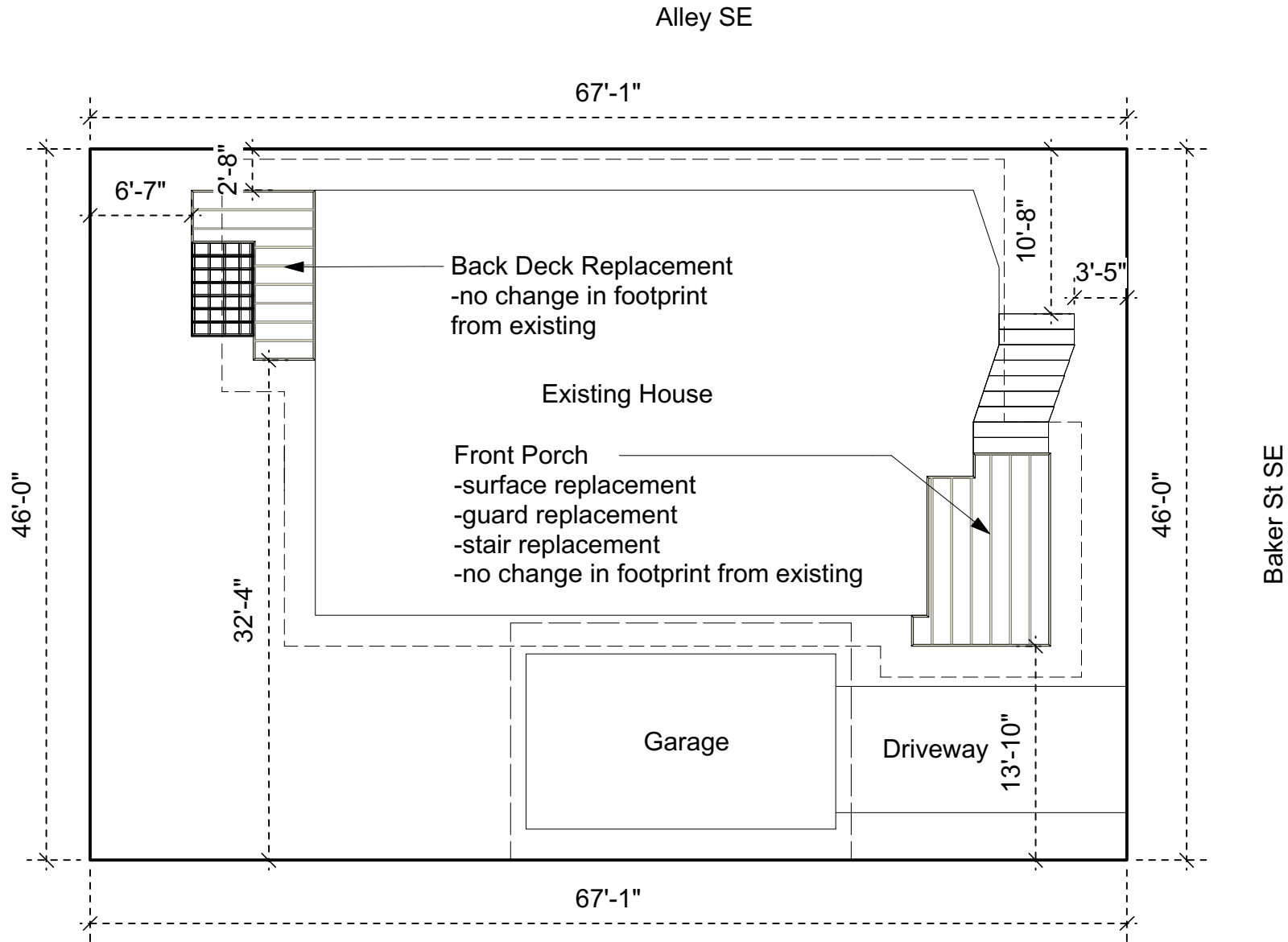
Design and Application Criteria for Substitute Materials:

Criterion: The proposed substitute materials will approximate in placement, profile, size, proportion, and general appearance the existing porch decking.

Facts: The existing and replacement will be the same width (1x4) with a medium brown color and wood grain texture and slight color variations, similar to an aged fir porch decking.

Criterion: The substitute porch decking must be installed in a manner that maximizes the ability to remove the substitute materials.

Facts: It will also be installed similar to natural fir decking, using hidden flooring nails, and could be removed in the future in a similar manner to natural fir decking.




	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Cartsen Front Porch Modifications and Back Deck Replacement 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Site Plan
			Date January 27, 2026	Scale 1" = 10'
			Phone (541) 926-3117	




5'-4"

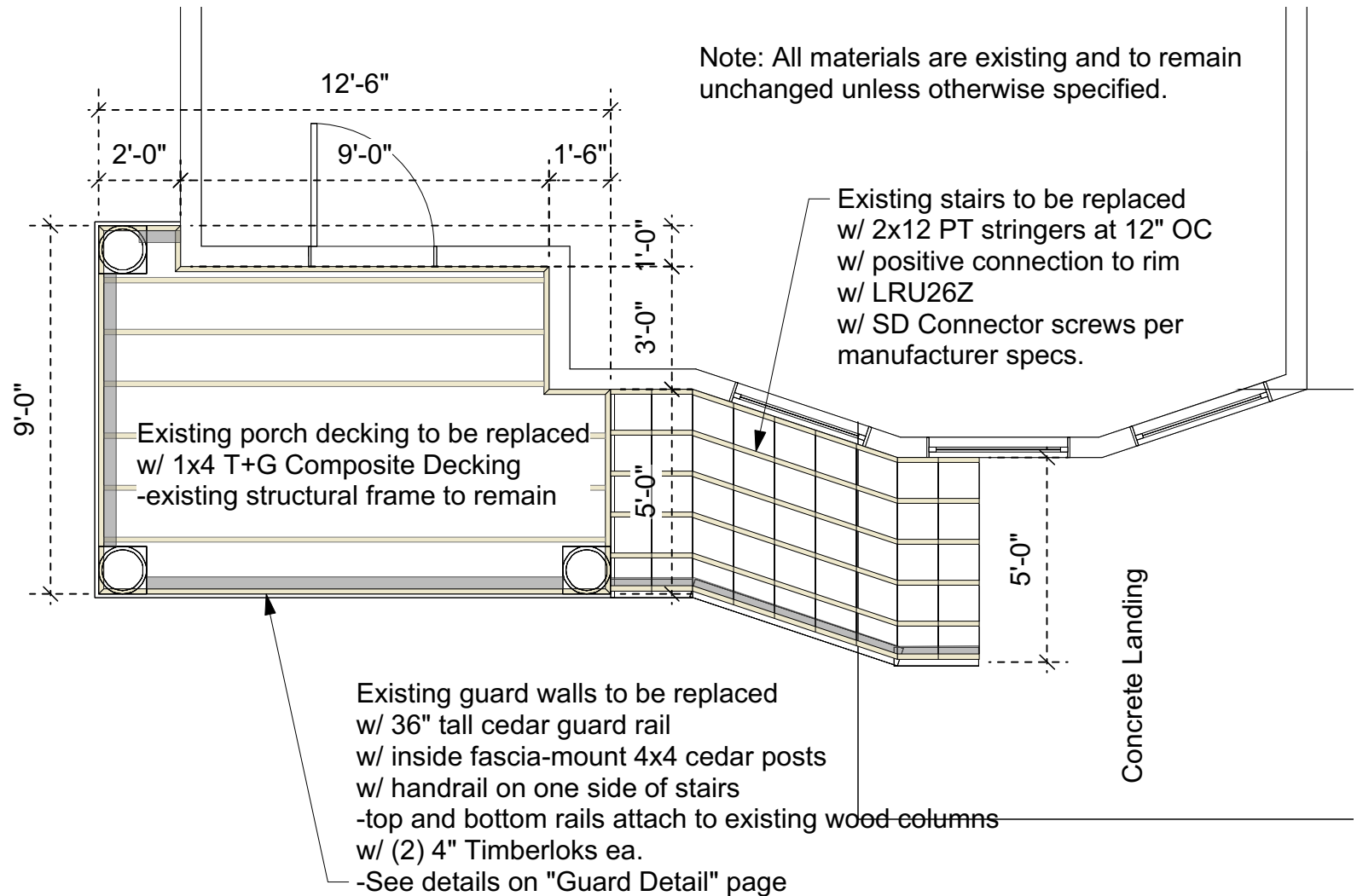
Existing skirt wall to remain unchanged


Existing wall to be cut at stairs to receive guard rail post attachment

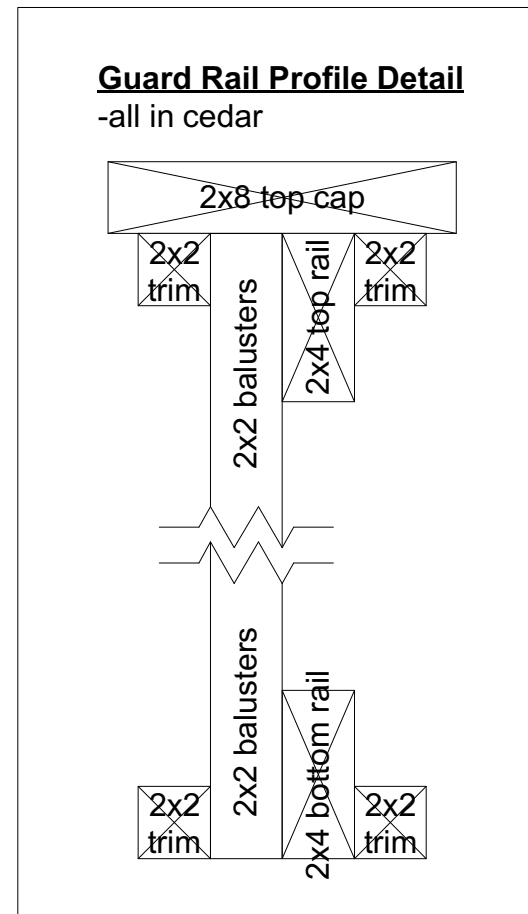
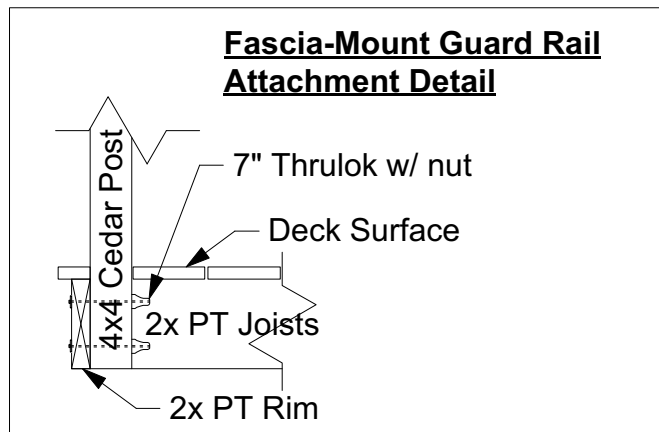
	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Carlsen Front Porch Modifications 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Front Deck - Proposed Elevation View 1
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Carlsen Front Porch Modifications 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Front Deck - Proposed Elevation View 2
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



	General Contractor	Project Title	Project Manager	Drawing Title
	TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Cartsen Front Porch Modifications 424 Baker St SE Albany, OR 97321	Brent Mosser	Front Deck Framing Plan
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



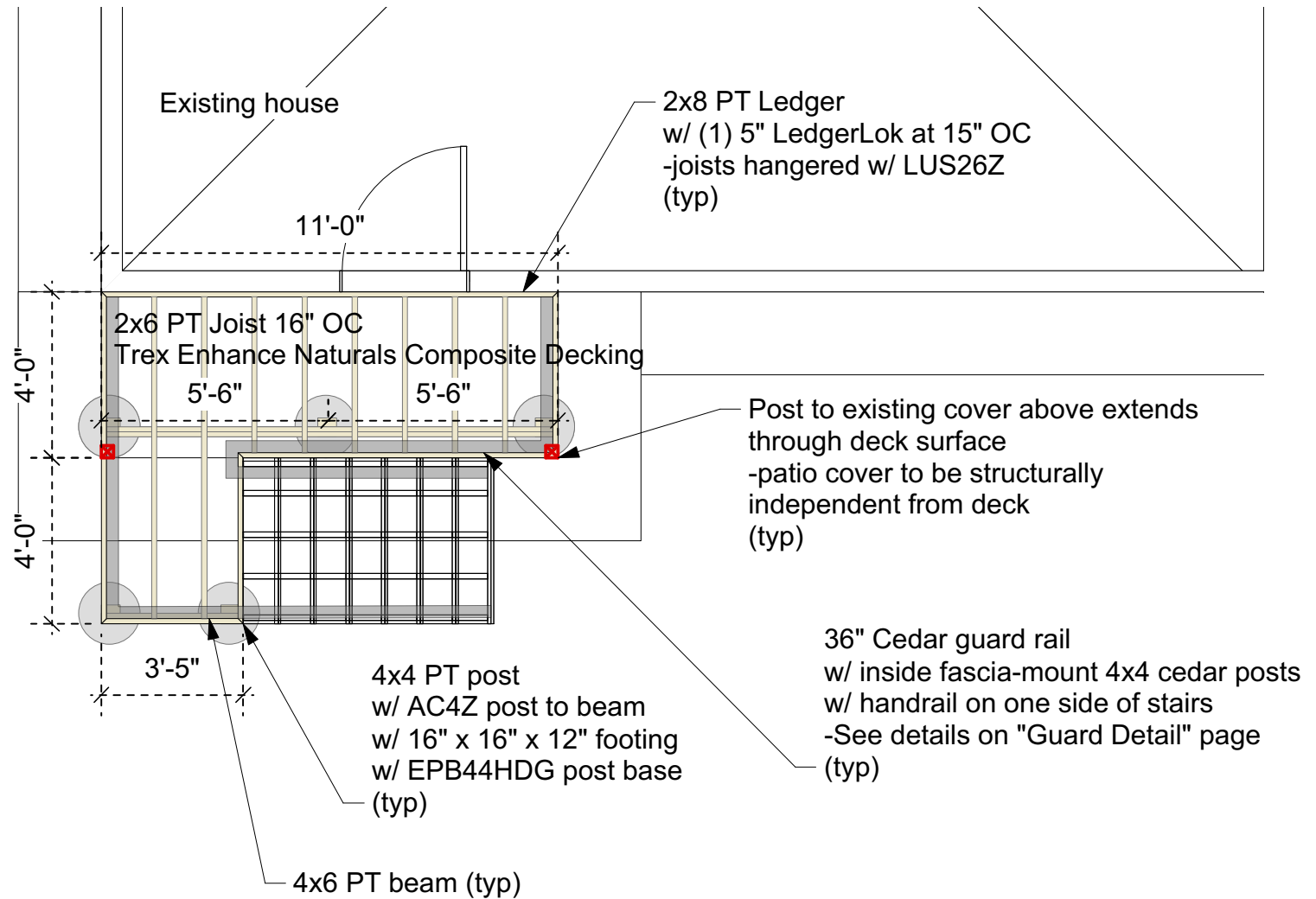
 <p>TnT Builders deck and patio cover experts</p>	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Cartsen Front Porch Modifications and Back Deck Replacement 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Guard Detail
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	


Deckorators Porch Flooring – Chickory

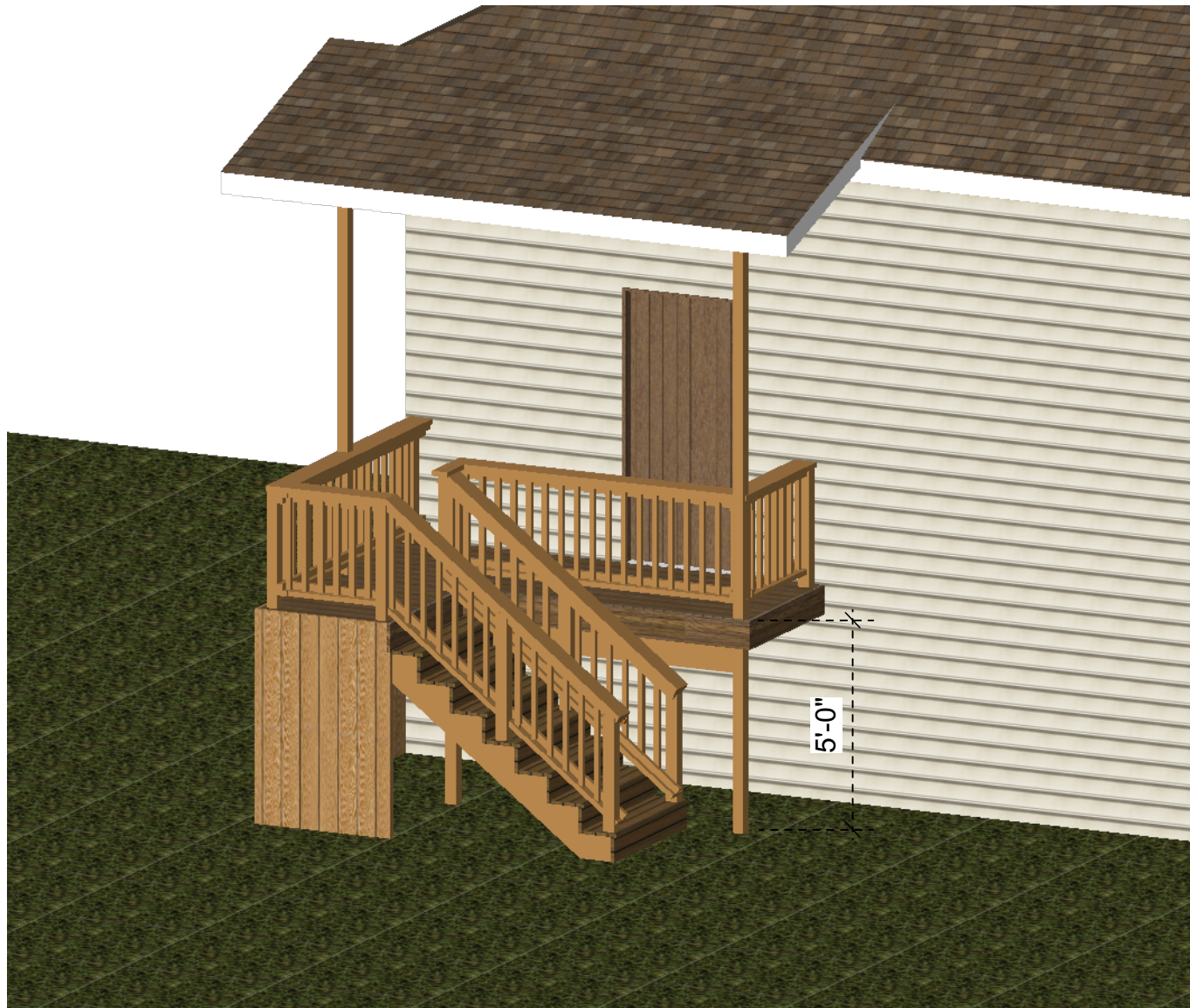
-1x4 tongue and groove




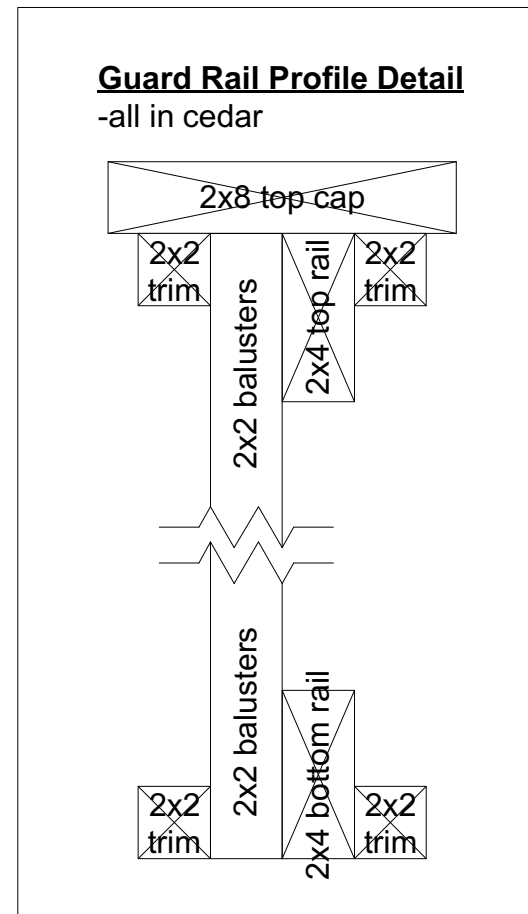
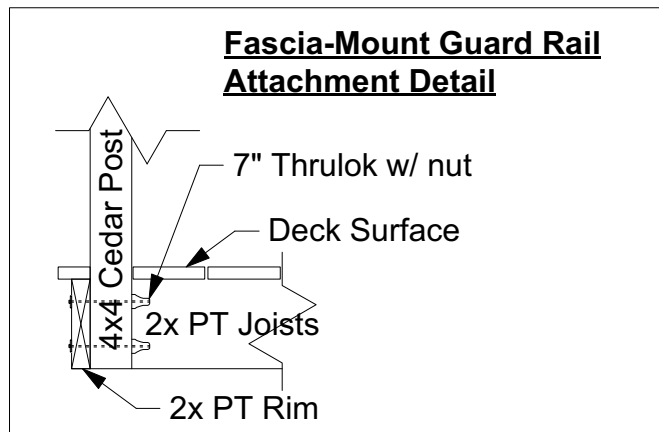
<https://www.deckorators.com/products/porch-flooring?variant=46962738725186>



	General Contractor	Project Title	Project Manager	Drawing Title
	TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Cartsen Back Deck Replacement 424 Baker St SE Albany, OR 97321	Brent Mosser	Back Deck Framing Plan
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Cartsen Back Deck Replacement 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Back Deck -Proposed Elevation View
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



 <p>TnT Builders deck and patio cover experts</p>	<p>General Contractor</p> <p>TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770</p>	<p>Project Title</p> <p>Cartsen Front Porch Modifications and Back Deck Replacement 424 Baker St SE Albany, OR 97321</p>	<p>Project Manager</p> <p>Brent Mosser</p>	<p>Drawing Title</p> <p>Guard Detail</p>
			<p>Date</p> <p>January 27, 2026</p>	<p>Scale</p> <p>1/4" = 1'</p>
			<p>Phone</p> <p>(541) 926-3117</p>	


Trex Enhance Decking – Toasted Sand

-1x6 boards installed with hidden fasteners between boards




<https://www.trex.com/products/decking/enhance/>



	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Cartsen Front Porch Modifications 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Front Deck - Existing Elevation View 1
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



	General Contractor TnT Builders Inc 620 Queen Ave. SW Albany, OR 97322 CCB #105770	Project Title Cartsen Front Porch Modifications 424 Baker St SE Albany, OR 97321	Project Manager Brent Mosser	Drawing Title Front Deck - Existing Elevation View 2
			Date January 27, 2026	Scale 1/4" = 1'
			Phone (541) 926-3117	



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | COMMUNITY DEVELOPMENT 541-917-7550

Staff Report

Historic Review for Exterior Alterations

HI-06-26

April 29, 2026

Summary

This staff report evaluates a Historic Review for Exterior Alterations for a home on a developed lot within the Monteith National Register Historic District (Attachment A). The applicant proposes to construct a 12-foot by 12-foot addition onto the front of the house.

Application Information

Review Body:	Landmarks Commission (Type III review)
Staff Report Prepared By:	Alyssa Schrems, Project Planner
Applicant/Property Owner:	Christina Bushnell, 512 9th Avenue SW, Albany, OR 97321
Address/Location:	512 9th Avenue SW
Map/Tax Lot:	Linn County Assessor’s Map No. 11S-04W-12AD, Tax Lot 7700
Zoning:	Hackleman Monteith (HM) District (Monteith National Register Historic District)
Total Land Area:	4,015 square feet
Existing Land Use:	Single Unit Dwelling
Neighborhood:	Central Albany
Surrounding Zoning:	North: Hackleman Montieth (HM) East: HM South: HM West: HM
Surrounding Uses:	North: Single Unit Residences East: Single Unit Residences South: Single Unit Residences West: Single Unit Residences
Prior History:	N/a

Notice Information

On April 15, 2026, a notice of public hearing was mailed to property owners within 100 feet of the subject property. On April 27, 2026, notice of public hearing was also posted on the subject site. As of April 27, 2026, one comment has been received (Attachment E).

albanyoregon.gov/cd



The comment expressed concerns about the proposed plans and the current state of the house.

Analysis of Development Code Criteria

Exterior Alteration Criteria (ADC 7.100-7.165)

Section 7.150 of the ADC, Article 7, establishes the following review criteria in **bold** for Historic Review of Exterior Alterations applications. For applications other than the use of substitute materials, the review body must find that one of the following criteria has been met in order to approve an alteration request.

- a. **The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure; OR**
- b. **The proposed alteration is compatible with the historic characteristics of the area and with the existing structure in massing, size, scale, materials, and architectural features.**

Findings of Fact

1.1 Location and Historic Character of the Area. The subject property is located at 512 9th Avenue SW in the Hackleman Monteith (HM) zoning district within the Monteith National Register Historic District. Properties to the north, east, south, and west are zoned HM and are in single unit residential use.

1.2 Historic Rating. The structure is rated as a Non-Historic Non-Contributing resource in the Monteith National Register Historic District, however conflicting information exists in the record regarding the original date of construction. The nomination form states that the house was constructed circa 1950s, however the Linn County Tax Assessor records list the date of construction as 1944 (Attachment F).

In order to resolve the exterior alteration review, the Commission must first determine if the structure should be subject to review at all. If the Commission determines that the structure was constructed prior to 1946, then the Historic Review of Exterior Alterations is required in order to approve the front façade alteration. If the Commission determines the structure was constructed in 1946 or after, then it is exempt from the Historic Review for Exterior Alterations.

1.3 History and Architectural Style. The nomination form lists the architectural style of the house as Vernacular. The house is noted as being very small and possibly being a converted garage. Noted decorative features include shutters and a wide fixed plate glass window.

1.4 Proposed Exterior Alterations. The applicant proposes to construct a 12-foot by 12-foot addition on the front of the house.

ADC 7.150 further provides the review body will use the Secretary of the Interior's Standards for Rehabilitation as guidelines in determining whether the proposed alteration meets the review criteria. Conclusions for ADC 7.150 and 7.160 will be discussed below.

Secretary of Interior's Standards for Rehabilitation – (ADC 7.160)

The following standards are to be applied to rehabilitation projects in a reasonable

manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic material shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Findings of Fact

- 2.1 Building Use (ADC 7.160(1)). The building was originally used as a single unit dwelling and it continues to be used in this manner. Only minimal exterior alterations are needed in association with the proposed use, which is consistent with ADC 7.160(1).

2.2 Historic Character (ADC 7.160(2)). The structure was constructed in the Vernacular style. The applicant will have an opportunity to discuss this criterion in more detail at the hearing.

2.3 Historic Record & Changes (ADC 7.160(3) and (4)). No conjectural features or architectural elements from other styles, buildings, or time periods are proposed. This proposal is consistent with ADC 7.160(3) and (4).

2.4 Distinctive characteristics (ADC 7.160(5)). The Historic Inventory sheet notes distinctive features including shutters and a wide fixed-plate glass window.

Based on the applicant's site plan, it appears that the shutters will be removed, but either the existing wide fixed-plate glass window or a similar one will remain. The applicant will have an opportunity to discuss this in more detail at the hearing. Based on these facts, the proposal appears to be consistent with ADC 7.160(5).

2.5 Deteriorated Features (ADC 7.160(6)). There are no deteriorated historic features noted in the application. As part of the scope of work, the applicant is pouring a foundation for the house. It is noted that the house has not previously had a foundation.

Based on these facts, the proposal appears to be consistent with ADC 7.160(6).

2.6 Use of Chemical or Physical Treatments (ADC 7.160(7)). The applicant states they will not use chemical or physical treatments. Based on this, the standard is met.

2.7 Significant Archaeological Resources (ADC 7.160(8)). There are no known archaeological sites on the subject property, however ground disturbing work is proposed with this application. Due to the potential to inadvertently discover artifacts while completing ground disturbing work, the applicant shall be provided with a bulletin regarding Archaeological Sites on Private Lands from the Oregon Historic Preservation Office, as well as a visual guide showing examples of potential artifacts.

2.8 Historic Materials (ADC 7.160(9)). The applicant proposes to construct a 12-foot by 12-foot addition onto the front of the structure, in line with the existing front façade. In order to accomplish this proposed change, the roof line will be changed to span the entire front of the structure and a covered porch spanning the entire front of the house is proposed to tie the change together visually.

The Commission may determine if the proposed construction is compatible with the massing, size, scale, and architectural features of the existing building and other surrounding buildings.

2.9 New Additions (ADC 7.160(10)). The applicant is proposing to add an addition to the front of the structure. The applicant will have an additional opportunity to address this standard at the hearing.

The Commission may determine if the addition is proposed to be constructed in a manner that allows for minimal damage to the essential form and integrity of the historic structure.

Conclusions

2.1 The Commission may determine if the Secretary of the Interior's standards are met.

Overall Conclusions

The proposal seeks to construct a 12-foot by 12-foot addition onto the front of the house.

Staff recommends additional information be provided at the hearing to determine if this application is satisfied.

Options and Recommendations

The Landmarks Commission has three options with respect to the subject application:

Option 1: Approve the request as proposed;

Option 2: Approve the request with conditions of approval;

Option 3: Deny the request.

Motions

Approval: I move to approve the Exterior Alterations including conditions of approval as noted in the staff report for application planning file no. HI-06-26. This motion is based on the findings and conclusions in the April 29, 2026, staff report and findings in support of the application made by the Landmarks Commission during deliberations on this matter.

Approval with new conditions of approval: I move to approve the Exterior Alterations including conditions of approval as **drafted during this meeting** for application planning file no. HI-06-26. This motion is based on the findings and conclusions in the April 29, 2026, staff report and findings in support of the application made by the Landmarks Commission during deliberations on this matter.

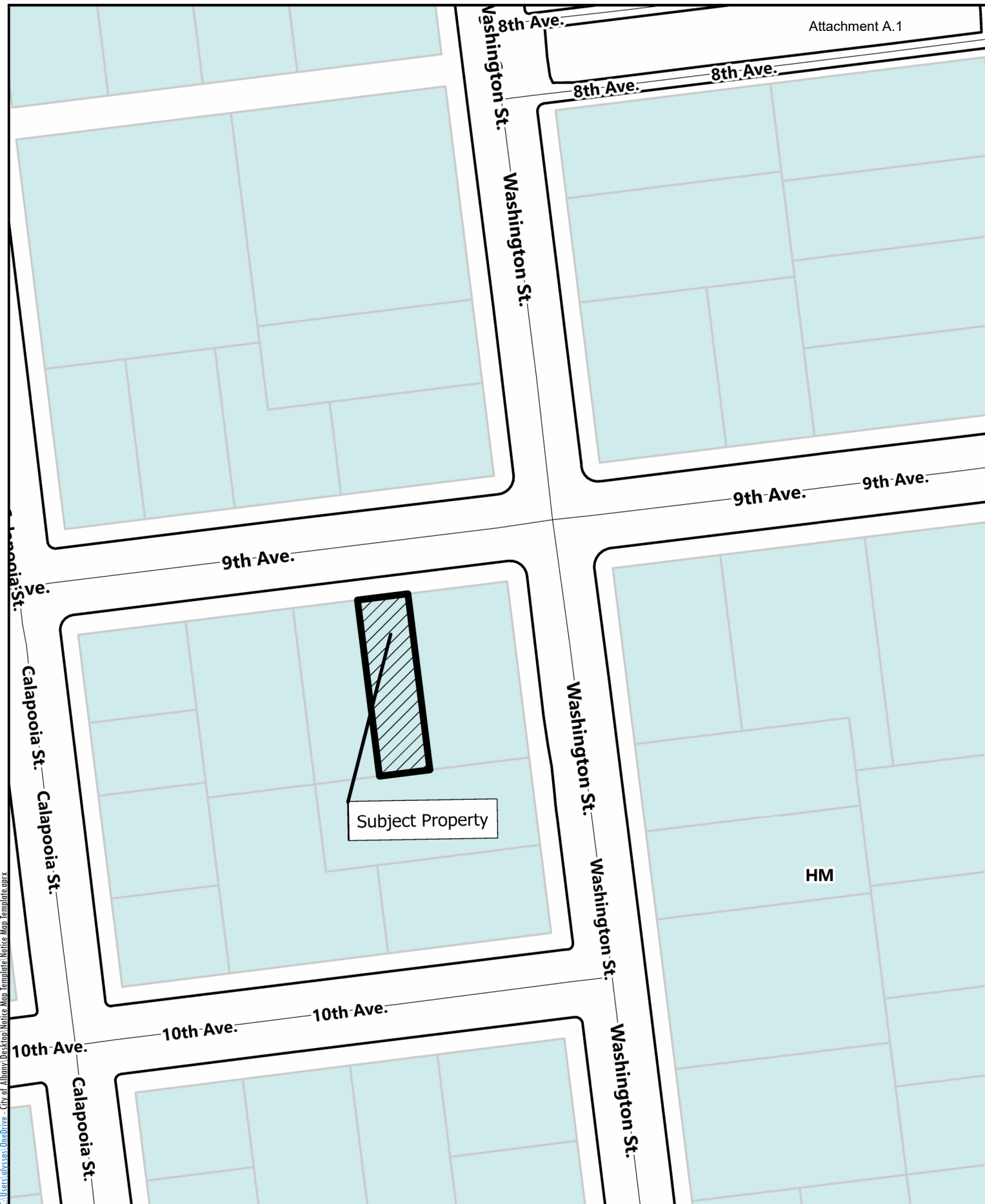
Denial: I move to deny the Exterior Alterations as detailed in planning file no. HI-06-26. This motion is based on the findings and conclusions made by the Landmarks Commission during deliberations on this matter.

Attachments

- A. Location Map
- B. Historic Resource Survey
- C. Applicant's Submittal
- D. Archaeology Packet
- E. Comments
- F. Tax Assessor Record

Acronyms

ADC	Albany Development Code
HI	Historic file designation
HM	Hackleman Monteith Zoning District



C:\Users\alissus\OneDrive - City of Albany\Desktop\Notice Map Templates\Notice Map Templates.aprx



0 50 100 200
Feet

Date: 4/13/2026 Map Source:

512 9th Ave SW

Location Map

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY - ALBANY
HISTORIC DISTRICT

Attachment B.1

COUNTY: Linn

HISTORIC NAME: None	ORIGINAL USE: Residence
COMMON NAME: None	CURRENT USE: Residence
ADDRESS: 512 9th Ave. SW	CONDITION: Good
ADDITIONAL ADDRESS: NONE	INTEGRITY: Fair MOVED? N
CITY: Albany	DATE OF CONSTRUCTION: c.1950
OWNER: James Blodgett	THEME 20th Century Architecture
CATAGORY: Building	STYLE: Vernacular
LOCATION Monteith Historic District	ARCHITECT UNKNOWN
MAP NO: 11S04W12AD TAX LOT: 07700	BUILDER: UNKNOWN
BLOCK: 77 LOT N/A	QUADRANGLE Albany ASSESSMENT: N
ADDITION NAME: Monteith Southern Addition	ORIGINAL RATING: Compatible
PIN NO: 11S04W12AD07700 ZONING HM	CURRENT RATING: Non-Contributing

PLAN TYPE/SHAPE: Irregular	NO. OF STORIES: 1
FOUNDATION MAT.: Concrete	BASEMENT N
ROOF FORM/MAT.: Gable	PORCH: Shed

STRUCTURAL FRAMING: Wood

PRIMARY WINDOW TYPE: Various sizes

EXTERIOR SURFACING MATERIALS: Wide lap siding

DECORATIVE FEATURES:
Shutters, wide fixed plate glass window

EXTERIOR ALTERATIONS/ADDITIONS:
None

NOTEWORTHY LANDSCAPE FEATURES:
None

ADDITIONAL INFO:
Very small house, may be remodeled garage

INTERIOR FEATURES:
None

LOCAL INVENTORY NO.: M.174

SHPO INVENTORY NO.: None

CASE FILE NUMBER: None

**OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY -ALBANY
MONTEITH HISTORIC DISTRICT -PAGE TWO**

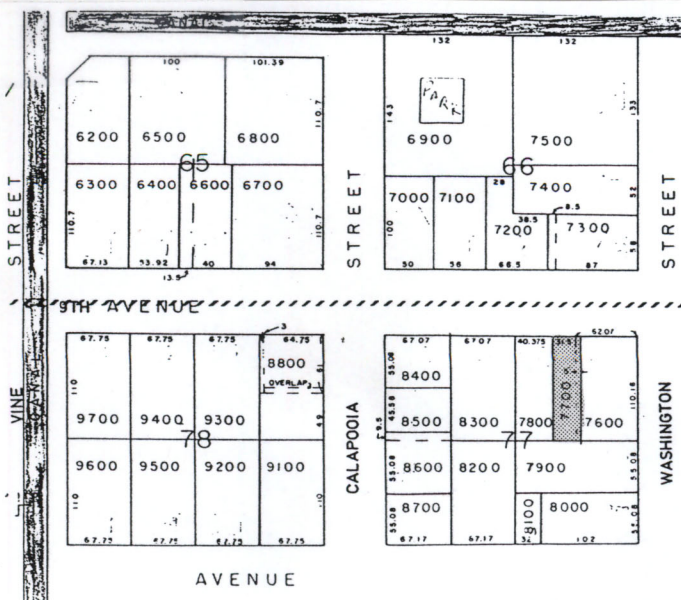
NAME: James A. Blodgett
ADDRESS: 512 Ninth Ave. S.W.
QUADRANGLE: Albany

T/R/S: T11-R4W-S12
MAP NO.: 11-4W-12AD
TAX LOT: 7700



NEGATIVE NO.: K-35

SLIDE NO.: MS.174



GRAPHIC & PHOTO SOURCES: Albany Community Development Planning Division & Tanya Neel.

Linn County Tax Data File

Tax lot #..... 11S04W12AD07700

Tax acct #..... 0134763

Site address.. 512 9TH AVE SW

In-City? Y

Owner..... BLODGETT, JAMES A

Address-1..... 2372 SE BRISTOL , SUITE A

Address-2..... SANTA ANA HTS, CA 92707-0000

Address-3.....

Address-4.....

Address-5.....

Property class... 1011 Tax Code #1...0801

Stat class..... 210 Tax Code #2...0000

Land market value... 19,580

Imp. market value... 17,310

James Blodgett
P.O. Box 8088 U
Newport Beach, Ca. 92608

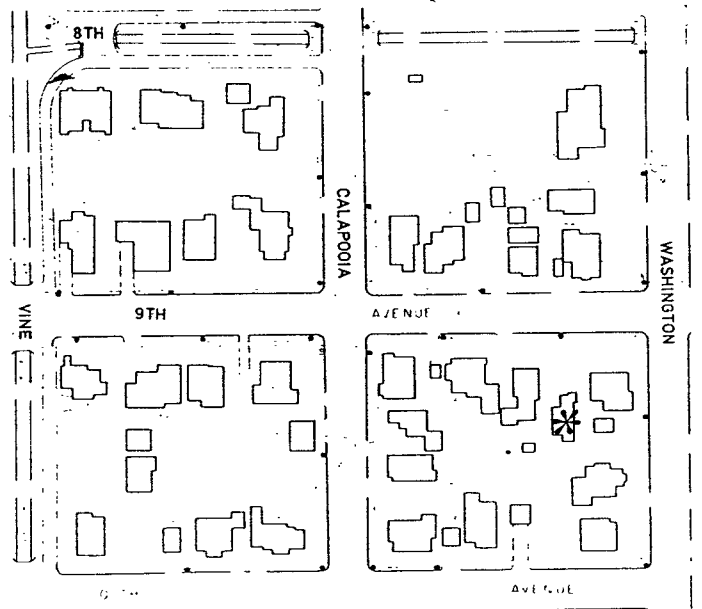
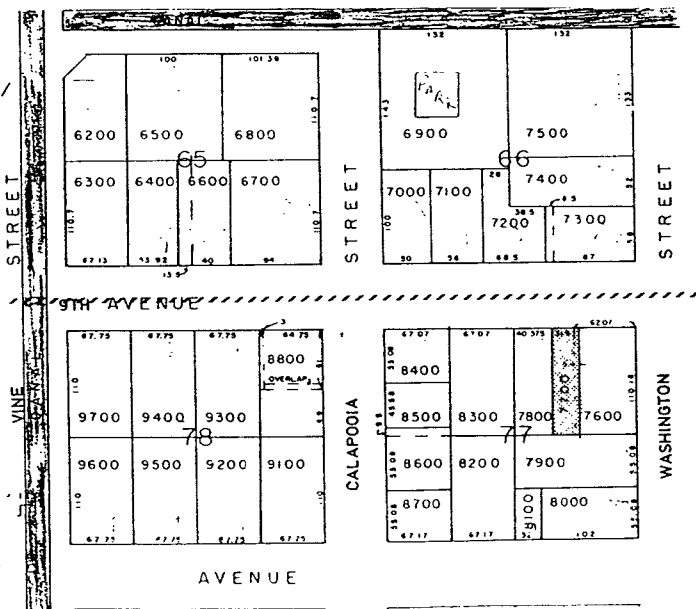
299. 512 Ninth Avenue SW
Significance: Compatible
Use: Residence

Present Owner: ~~Howard A. Blodgett~~
~~512 Ninth Avenue SW~~
Tax Lot: 11-4W-12AD-7700

Description:

One story residence with lap siding, interior chimney and large wide shuttered windows.

512
Ninth



512 9th
E face L
K-34





COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

Historic Review of Exterior Alterations

Checklist and Review Criteria

INFORMATION AND INSTRUCTIONS:

- See fee schedule for filing fee (subject to change every July 1): staff will contact you for payment after submittal.
- All plans and drawings must be to scale, and review criteria responses should be provided as specified in this checklist.
- Application and materials must be submitted online through Accela at <http://www.albanyoregon.gov/permits>. Please call 541-917-7550 if you need assistance.
- Depending on the complexity of the project, paper copies of the application may be required.
- Before submitting your application, please check the following list to verify you are not missing essential information. An incomplete application will delay the review process.

HISTORIC REVIEW OF EXTERIOR ALTERATIONS SUBMITTAL CHECKLIST:

PLANNING APPLICATION FORM WITH AUTHORIZING SIGNATURES.

PROPERTY AND PROJECT INFORMATION.

Submit the following information (separately or on this page):

1. Historic District:

Monteith Hackleman Downtown Local Historic Commercial/Airport

2. Historic rating:

Historic Contributing Historic Non-Contributing Non-Historic (post 1945)

3. Year Built: 1950s Architectural Style(s): Vernacular

4. Years of exterior alterations, if any: 1960's, possibly 1980's

5. Please describe the proposed alteration(s) and the purpose of the alterations: Add 10'

to front of home to include additional bathroom.

Add covered porch

PHOTOGRAPHS. Provide photographs that show the current condition of the area you intend to alter.

CONSTRUCTION PLANS/ELEVATION DRAWINGS. Provide construction plans, architectural drawings or schematics showing detailed building elevations and exterior plans, and dimensions of all altered or new elements, including foundation, windows, and the setbacks to the property lines, materials proposed, profile/design, etc. If construction plans or drawings are not applicable to your project, then

albanyoregon.gov/cd



submit an accurate alteration description, including photographs, or other information that describes the project.

Note: Some properties may have covenants or restrictions, which are private contracts between neighboring landowners. These frequently relate to density, minimum setbacks, or size and heights of structures. While these covenants and restrictions do not constitute a criterion for a City land use decision, they may raise a significant issue with regard to the City's land use criteria. It is the responsibility of the applicant to investigate private covenants or restrictions.

REVIEW CRITERIA RESPONSES.

On a separate sheet of paper, prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the following review criteria. Each criterion must have at least one finding of fact and conclusion statement. On a separate sheet of paper, prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the following review criteria. Each criterion must have at least one finding of fact and conclusion statement. (See Example Findings of Fact starting on last page.)

1. The Community Development Director will approve **residential** alteration applications if one of the following criteria is met:
 - a. There is no change in historic character, appearance, or material composition from the existing structure.
 - b. The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.
 - c. The proposed alteration is not visible from the street.
2. For all other exterior alteration requests, except for the use of substitute materials*, and including all **non-residential** requests, the review body must find that one of the following criteria has been met to approve an alteration request:
 - a. The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure, or
 - b. The proposed alteration is compatible with the historic characteristics of the area and with the existing structure in massing, size, scale, materials, and architectural features.

**There is a different application for the use of substitute materials. The review criteria for the use of substitute siding, windows, and trim shall be as found in ADC Sections 7.170-7.225.*

The review body will use the Secretary of the Interior's Standards of Rehabilitation as guidelines in determining whether the proposed alteration meets the review criteria [ADC Section 7.160].

The Secretary of the Interior's Standards for Rehabilitation. The following standards are to be applied to rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic material shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old, and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired [ADC Section 7.160].

HISTORIC REVIEW OF EXTERIOR ALTERATIONS – PROCESS AND PROCEDURE

Purpose (ADC 7.100). The purpose of reviewing alterations to historic landmarks is to encourage the preservation of characteristics that led to their designation as historic landmarks. Review is required for exterior alterations or additions to buildings or structures classified as historic contributing and historic non-contributing within the historic districts, and to landmarks outside the districts.

Exemption from Review (ADC 7.110). Historic review is not required for buildings or structures originally constructed after 1945 or for changes to paint color to any home or structure.

Procedure (ADC 7.120). A request for an exterior alteration is reviewed and processed by either the Community Development Director or the Landmarks Commission. The Landmarks Commission replaces the Hearings Board or Planning Commission as the review body. Any exterior or interior alteration to buildings participating in Oregon's Special Assessment of Historic Property Program will also require review and approval by the State Historic Preservation Office.

1. The Director will approve residential alteration requests if one of the following criteria is met:
 - a. There is no change in historic character, appearance, or material composition from the existing structure.
 - b. The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.
 - c. The proposed alteration is not visible from the street.
2. For all other requests, the Landmarks Commission will review and process the alteration proposal. The applicant and adjoining property owners within 100 feet will receive notification of the Landmarks Commission public hearing on the proposal. The Landmarks Commission will accept written and verbal testimony on the proposal. For buildings on the Special Assessment of Historic Property Program, the Landmarks Commission decision will be forwarded to the State Historic Preservation Office.

EXAMPLE OF FINDINGS OF FACT

Criteria for Findings of Fact

Land use applications must include information that explains the intent, nature, and proposed use of the development, and other pertinent information that may have bearing on the action to be taken by the review authority. To be approved, a Historic Review application must address and demonstrate compliance with the applicable review criteria in Article 7 and related requirements. If the applicant's submittal is unclear or insufficient to demonstrate the review criteria are satisfied, the application will be delayed or denied.

Format for Findings of Fact

Statements addressing individual criteria must be in a "finding of fact" format. A finding of fact consists of two parts:

1. Factual information such as the distance between buildings, the width and type of streets, the particular operating characteristics of a proposed use, etc. Facts should reference their source: on-site inspection, a plot plan, City plans, etc.
2. An explanation of how those facts result in a conclusion supporting the criterion.

Example:

Criterion: The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure.

Facts: The Cultural Resource Inventory indicates that the house was constructed c.1885 and the style is a Western Farmhouse. The decorative features noted are rectangular bays on the north and east sides with panels, turned porch columns and a fixed window with a diamond shaped pattern on the east side. Sanborn Fire map research indicates that the porch originally extended the full length of the west wing of the house.

This application proposes to restore the front porch to the full length of the west wing of the house. Additional porch columns are proposed to match the existing turned porch columns; a hipped roof is proposed consistent with existing entry and bays and Sanborn maps. The current porch, which now only covers the front door, is more of a covered entry than a porch. The balusters are a connected "sawn" design (rather than turned) that was typical in the late 19th century. (SEE ATTACHED DRAWING.)

Conclusion: Extending the porch to its original size will cause the structure to more closely approximate its historic character and appearance.

Proposed Revision: Historic Review Exemption Request

Subject: Statement of Facts Regarding Historic Review Exemption – 512 9th Ave SW

To the City of Albany Planning Division,

I am submitting this information regarding the proposed exterior alterations at **512 9th Ave SW, Albany, OR**. Based on the city's established criteria and the specific history of this property, I believe the project qualifies for an **Exemption from Historic Review**.

Basis for Exemption

According to the **Historic Review of Exterior Alterations** guidelines, review is not required for structures originally constructed after **1945**. The following facts support this exemption for our property:

- **Construction Date:** Records from the **Oregon Inventory of Historic Properties** and the **Albany Historic District Survey** indicate the construction date is approximately **1950**.
- **Structure History:** The current building appears to be a **remodeled garage** rather than an original historic residence. It lacks a formal foundation and, during recent dry rot repairs, was found to have no insulation in the main structure.
- **Modern Updates:** Evidence of later construction includes a **1960s-era electrical panel** and a laundry room addition at the rear of the structure. Additionally, at a later time, there is a 10 foot partial addition on the front (on the left in the photo) as it has insulation and newer 2x4's.
- **Property Status:** At the time of purchase, the property was classified as **Non-Contributing** by the City, which explicitly excludes it from the review criteria outlined in the **Secretary of the Interior's Standards for Rehabilitation**.

Proposed Alterations

Our goal is to enhance the home while maintaining the neighborhood's historic charm. The proposed plans include:

- Extending the front of the home by **10 feet**.
- Preserving the existing large fixed-glass window and adding a matching one to maintain symmetry.
- Adding a **covered front porch**, a design element consistent with the character of the Albany Historic District.

I have included a **rendition** of the proposed design for your review. Thank you for your time and assistance with this matter. I am happy to provide any further information or answer any questions you may have.

Sincerely,
Christina Bushnell



Home (/) ► Historic Preservation Program (/historic) ► Inventory of historic properties in Albany



Inventory of historic properties

Show entries

Search:

Address ↓	Name	Location ↑↓	Rating ↑↓	Date ↑↓	Style	Associated Buildings ↑↓
510 5th Ave. SE	None	Hackleman	Historic Contributing	c.1900	Vernacular	None
510 5th Ave. SW	United Presbyterian Church	Monteith	Historic Contributing	1891	Gothic Revival	None
512 9th Ave. SW	None	Monteith	Non-Contr, Outside Period of Sign	c.1950	Vernacular	None
513 7th Ave. SE	None	Hackleman	Historic Contributing	c.1895	Italianate Cottage	Garage

Address ↓	Name	Location ↑	Rating ↓	Date ↑	Style ↓	Associated Buildings ↑
514 Elm St. SW	Palmer House	Monteith	Historic Contributing	c.1897	Queen Anne Cottage	Shed on 5th Ave.
514 Jefferson St. SE	None	Hackleman	Historic Contributing	c.1935	Colonial Cottage	Garage
515 4th Ave. SW	None	Monteith	Historic Contributing	c.1920	Bungalow	None
515 5th Ave. SE	None	Hackleman	Historic Contributing	c.1935	Norman Farmhouse	Garage
515 6th Ave. SE	None	Hackleman	Non-Contr, Outside Period of Sign	c.1940	Art Moderne	None
516 11th Ave. SW	Larson House	Monteith	Historic Contributing	c.1911	Bungalow	Garage

Showing 441 to 450 of 925 entries

ious 1 ... 44 45 46 ... 93 Next

Last Updated: November 6, 2023

The Community Development Department guides growth and development within Albany by balancing the needs of current residents with those of future generations to ensure that the community remains a vibrant and desirable place to live, work, and play.



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

APPLICANT/OWNER & AUTHORIZING SIGNATURES

To be included with ALL City of Albany planning submittals

Send completed signature page and checklist(s) to albanyoregon.gov/permits

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> <input type="checkbox"/> Adjustment (AD) <input type="checkbox"/> Alternative Setback <input type="checkbox"/> Annexation (AN) <input type="checkbox"/> Comprehensive Plan Amendment (CP) <ul style="list-style-type: none"> <input type="checkbox"/> Map Amendment <input type="checkbox"/> Map Amendment; concurrent w/zoning <input type="checkbox"/> Text Amendment <input type="checkbox"/> Conditional Use, circle one: Type II or III <ul style="list-style-type: none"> <input type="checkbox"/> Existing Building: expand or modify <input type="checkbox"/> New Construction <input type="checkbox"/> Home Business (Type III only) <input type="checkbox"/> Development Code Text Amendment (DC) <input type="checkbox"/> Floodplain Development Permit (FP) <input checked="" type="checkbox"/> Historic Review (HI) <ul style="list-style-type: none"> <input type="checkbox"/> Exterior Alteration – residential, not visible from street (Type I) <input type="checkbox"/> Exterior Alteration – all commercial and residential visible from street (Type III) <input type="checkbox"/> New Construction (Type III or I-L) <input type="checkbox"/> Demolition or Moving (Type III) <input type="checkbox"/> Substitute Materials (Type III) <input type="checkbox"/> Interpretation of Code (CI) | <ul style="list-style-type: none"> <input type="checkbox"/> Quasi-Judicial (Type II) <input type="checkbox"/> Legislative (Type IV) <input type="checkbox"/> Land Division (check all that apply) <ul style="list-style-type: none"> <input type="checkbox"/> Partition (PA) <input type="checkbox"/> Expedited <input type="checkbox"/> Tentative Plat (Type I-L) <input type="checkbox"/> Tentative Plat PD or CD (Type III) <input type="checkbox"/> Final Plat (Type I) <input type="checkbox"/> Subdivision (SD) <input type="checkbox"/> Expedited <ul style="list-style-type: none"> <input type="checkbox"/> Tentative Plat (Type I-L) <input type="checkbox"/> Tentative Plat PD or CD (Type III) <input type="checkbox"/> Final Plat (Type I) <input type="checkbox"/> Tentative Re-plat Type I-L (RL) <input type="checkbox"/> Modification to Approved Site Plan or Conditional Use <input type="checkbox"/> Natural Resource Boundary Refinement (NR) <input type="checkbox"/> Natural Resource Impact Review (NR) <input type="checkbox"/> Non-Conforming Use (MN) <input type="checkbox"/> Planned Development (PD) <ul style="list-style-type: none"> <input type="checkbox"/> Preliminary (Type III) <input type="checkbox"/> Final (Type I) <input type="checkbox"/> Property Line Adjustment (LA) <input type="checkbox"/> Site Plan Review (SP) <ul style="list-style-type: none"> <input type="checkbox"/> Accessory Building <input type="checkbox"/> Change of Use, Temporary or Minor Developments | <ul style="list-style-type: none"> <input type="checkbox"/> Manufactured Home Park <input type="checkbox"/> Modify Existing Development <input type="checkbox"/> Parking Area Expansion (only) <input type="checkbox"/> New Construction <input type="checkbox"/> Tree Felling <input type="checkbox"/> Temporary Placement (TP) <input type="checkbox"/> Urban Growth Boundary (UGB) <input type="checkbox"/> Vacation (VC) <ul style="list-style-type: none"> <input type="checkbox"/> Public Street or Alley <input type="checkbox"/> Public Easements <input type="checkbox"/> Variance (VR) <ul style="list-style-type: none"> <input type="checkbox"/> Major Variance (Type II) <input type="checkbox"/> Minor Variance (Type I-L) <input type="checkbox"/> Willamette Greenway Use (WG) <input type="checkbox"/> Zoning Map Amendment (ZC) <ul style="list-style-type: none"> <input type="checkbox"/> Quasi-Judicial (Type IV) <input type="checkbox"/> Legislative (Type IV) <input type="checkbox"/> Other Required (check all that apply) <ul style="list-style-type: none"> <input type="checkbox"/> Design Standards <input type="checkbox"/> Hillside Development <input type="checkbox"/> Mitigation <input type="checkbox"/> Parking/Parking Lot <input type="checkbox"/> Traffic Report <input type="checkbox"/> Other _____ |
|--|---|--|

Location/Description of Subject Property(s)

Site Address(es): 512 9th Ave SW alban, OR

Assessor's Map No(s): 11504W12AD Tax Lot No(s): ~~7700~~ 11-4W-12AD-7700

Comprehensive Plan designation: _____ Zoning designation: _____

Size of Subject Property(s): _____ Related Land Use Cases: _____

Project Description: Building permit for foundation, addition in rear and addition in front

- Historic Overlay
 Natural Resource Overlay District
 Floodplain or Floodway Overlay



Applicant Information (must be signed)

Name: Christina Bushnell Signature: _____
Mailing Address: 512 ~~500~~ 9th Ave SW Date: 4-3-26
City: Albanu State: OR Zip: _____
Phone #: _____ Fax #: _____ Email: _____

File #(s): _____ Date Fee & Application Received: _____
Pre-App File #(s): _____ Pre-App Meeting Date: _____
Amount Paid: _____ Received By: _____

Property Owner Information (must be signed)

Same as Applicant
Name: _____ Signature: _____
Mailing Address: _____ Date: _____
City: _____ State: _____ Zip: _____
Phone #: _____ Fax #: _____
Email: _____

Authorized Agent or Representative (must be signed, if applicable)

Choose One: Engineer Architect Other _____
Name: _____ Signature: _____
Mailing Address: _____ Date: _____
City: _____ State: _____ Zip: _____
Phone #: _____ Fax #: _____
Email: _____
Relationship to property owner(s): _____

Other Representatives (must be signed, if applicable)

Choose One: Engineer Architect Other _____
Name: _____ Signature: _____
Mailing Address: _____ Date: _____
City: _____ State: _____ Zip: _____
Phone #: _____ Fax #: _____
Email: _____

Choose One: Engineer Architect Other _____
Name: _____ Signature: _____
Mailing Address: _____ Date: _____
City: _____ State: _____ Zip: _____
Phone #: _____ Fax #: _____
Email: _____

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY - ALBANY
HISTORIC DISTRICT

Attachment C.11

COUNTY: Linn

HISTORIC NAME: None

COMMON NAME: None

ADDRESS: 512 9th Ave. SW

ADDITIONAL ADDRESS: NONE

CITY: Albany

OWNER: James Blodgett

CATAGORY: Building

LOCATION Monteith Historic District

MAP NO: 11S04W12AD

TAX LOT: 07700

BLOCK: 77

LOT N/A

ADDITION NAME: Monteith Southern Addition

PIN NO: 11S04W12AD07700

ZONING HM

ORIGINAL USE: Residence

CURRENT USE: Residence

CONDITION: Good

INTEGRITY: Fair

MOVED? N

DATE OF CONSTRUCTION: c.1950

THEME 20th Century Architecture

STYLE: Vernacular

ARCHITECT UNKNOWN

BUILDER: UNKNOWN

QUADRANGLE Albany

ASSESSMENT: N

ORIGINAL RATING: Compatible

CURRENT RATING: Non-Contributing

PLAN TYPE/SHAPE: Irregular

FOUNDATION MAT.: Concrete

ROOF FORM/MAT.: Gable

STRUCTURAL FRAMING: Wood

PRIMARY WINDOW TYPE: Various sizes

EXTERIOR SURFACING MATERIALS: Wide lap siding

DECORATIVE FEATURES:

Shutters, wide fixed plate glass window

NO. OF STORIES: 1

BASEMENT N

PORCH: Shed

EXTERIOR ALTERATIONS/ADDITIONS:

None

NOTEWORTHY LANDSCAPE FEATURES:

None

ADDITIONAL INFO:

Very small house, may be remodeled garage

INTERIOR FEATURES:

None

LOCAL INVENTORY NO.: M.174

SHPO INVENTORY NO.: None

CASE FILE NUMBER: None

512 9th
E face L
K-34



**OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY -ALBANY
MONTEITH HISTORIC DISTRICT -PAGE TWO**

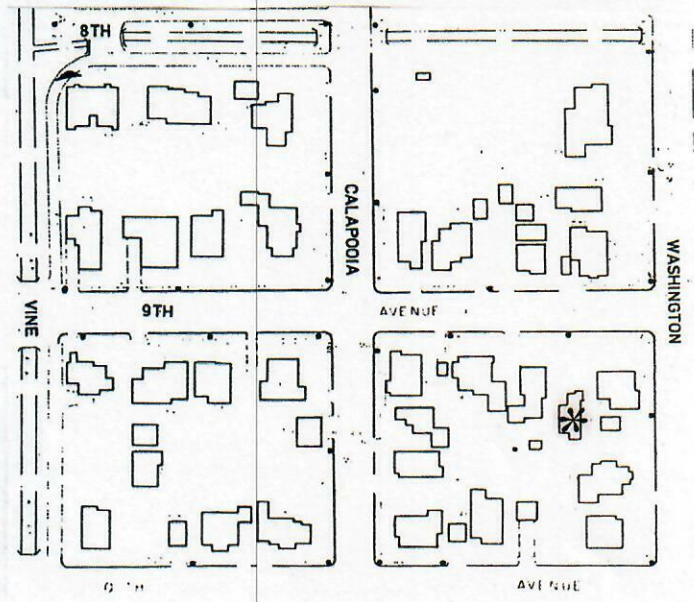
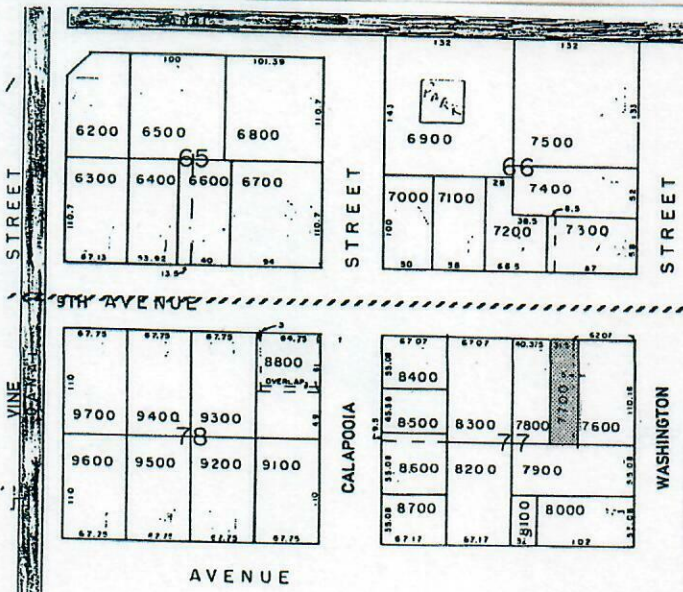
NAME: James A. Blodgett
ADDRESS: 512 Ninth Ave. S.W.
QUADRANGLE: Albany

T/R/S: T11-R4W-S12
MAP NO.: 11-4W-12AD
TAX LOT: 7700



NEGATIVE NO.: K-35

SLIDE NO.: MS.174



GRAPHIC & PHOTO SOURCES: Albany Community Development Planning Division & Tanya Neel.

Linn County Tax Data File

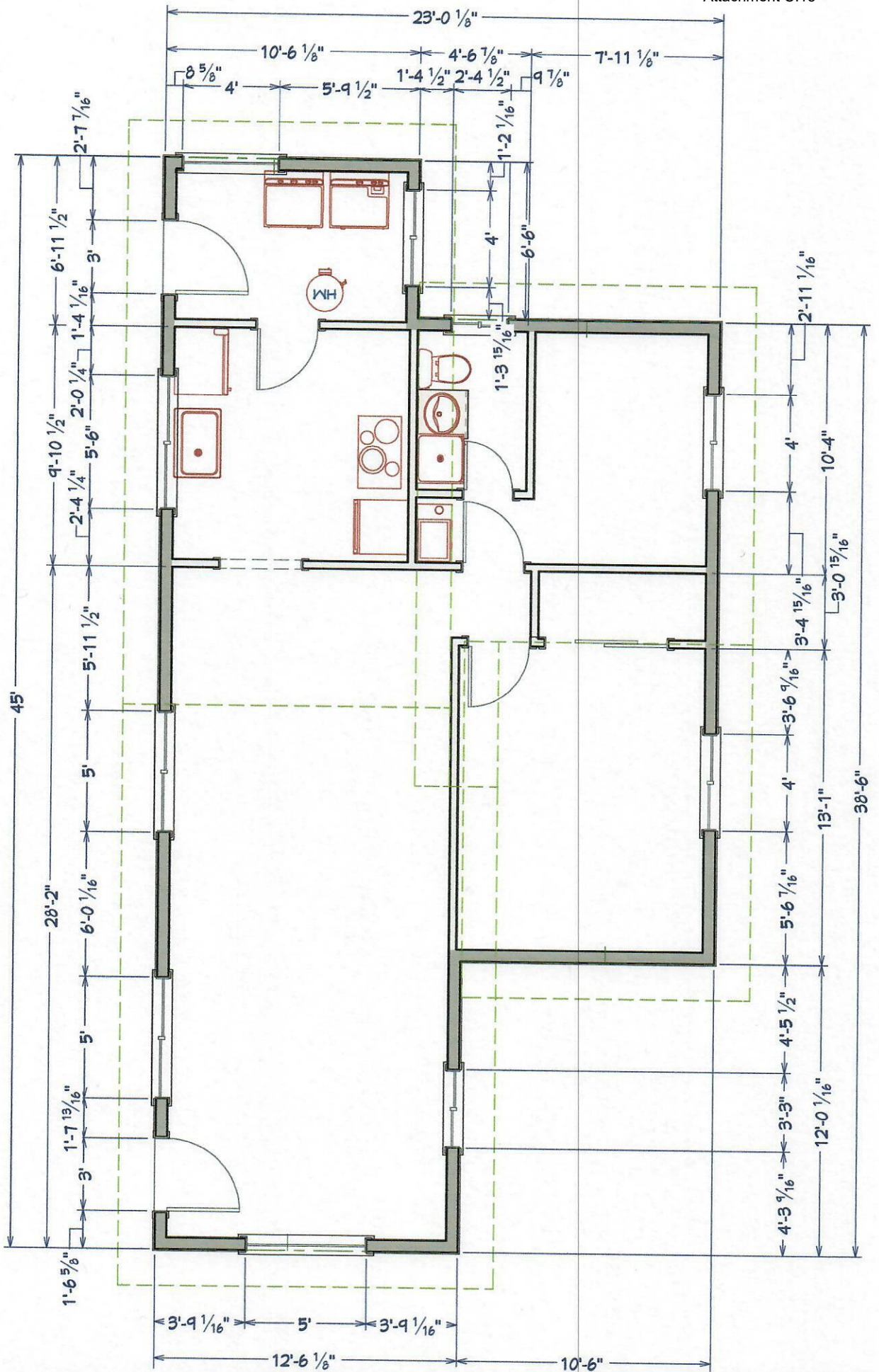
Tax lot #..... 11S04W12AD07700
Tax acct #..... 0134763
Site address.. 512 9TH AVE SW

In-City? Y

Owner..... BLODGETT, JAMES A
Address-1..... 2372 SE BRISTOL , SUITE A
Address-2..... SANTA ANA HTS, CA 92707-0000
Address-3.....
Address-4.....
Address-5.....

Property class... 1011 Tax Code #1...0801
Stat class..... 210 Tax Code #2...0000

Land market value... 19,580
Imp. market value... 17,310



Archaeological Sites on Private Lands

People have lived in Oregon for at least 14,000 years. Evidence of past human occupation exists, in part, within archaeological sites. Archaeological sites may consist of the remains of a 3,500 year-old village, trail ruts from the Oregon Trail or an early 1900s homestead. All archaeological sites contribute to the physical record of the history of Oregon from the earliest inhabitants to the recent past. The following information is for private landowners, to provide assistance with understanding state laws, what to do if you have an archaeological site on your property, your property rights, and how you can actively preserve and protect archaeological sites on your property.

What is an archaeological site?

In Oregon, an archaeological site is defined as any location with physical remains of past human activity that is at least 75 years old. Physical remains may include artifacts, such as stone tools (arrowheads, pestles, mortars), chipped stone flakes from a tool stone such as obsidian, peeled trees, rock art, shell heaps or middens, wagon ruts, old cans, bottles, bricks, metal debris, domestic debris and foundations from historic Euro-American use, or shipwrecks. The relationship or context of artifacts

within an archaeological site can provide significant information on prehistoric or historic activities. The Oregon State Historic Preservation Office (Oregon SHPO) maintains a master record set of archaeological sites in Oregon.

Laws:

Under Oregon State Law ([ORS 97.740](#), [ORS 358.905-358.961](#), [ORS 390.235](#), [OAR 736-051-0090](#)) significant archaeological sites are protected on all non-federal public (state, county, city) and private lands. Significance is based on the potential of an archaeological site to be eligible for inclusion on the National Register of Historic Places, which means the site possesses important archaeological information on local, regional or national level. Archaeological sites are considered significant until their eligibility can be evaluated. Under state law, damage to archaeological sites is a Class B Misdemeanor. Disturbance of Native American human remains or associated funerary objects is considered a Class C Felony with penalties up to a \$10,000 fine.

Significant archaeological sites are protected on all non-federal public (state, county, city) and private lands.

Private Land Rights:

Archaeological sites on private land are owned by the landowner and the land cannot be taken from the owner. The artifacts from a site are also the property of the land owner, except for Native American human remains, burials, associated funerary objects, sacred objects, and objects of cultural patrimony ([ORS 97.740](#)). No one is allowed on private land without owner consent, regardless of the presence of an archaeological site. Since the site belongs to the landowner, the landowner is the steward. If located on private land, the state encourages landowners to avoid impacting archaeological sites. Some activities that may already be occurring on your land (i.e. plowing, grazing) and that have had limited impacts to an



Oregon Historic Preservation Office
www.OregonHeritage.org
oregon.heritage@opr.d.oregon.gov
 (503) 986-0690

archaeological site, may continue unless the archaeological site contains human remains, burials, sacred objects, objects of cultural patrimony, and associated funerary objects. In other words, Oregon SHPO does not consider some continued use a violation of state law ([ORS 358.905-358.961](#) or [ORS 390.235](#)).

What happens when an archaeological site is on private land?

If an archaeological site is on private land, it should be avoided. If avoidance is not possible and the site will be impacted as a result of a proposed activity (e.g., construction [buildings, access routes, irrigation], dumping, trampling), it will need to be evaluated (recorded and studied by a professional archaeologist) for significance under a state-issued permit before the activity can begin.

An easy option for protecting archaeological sites on private land is to avoid them altogether.

If the site is determined not significant by a professional archaeologist, with concurrence from the Oregon SHPO, the proposed activity can occur without further archaeological research. If the site is found to be significant, steps will need to be taken to minimize and/or mitigate the damage resulting from the proposed activity. At the conclusion of any archaeological excavation, all artifacts

remain the property of the landowner; however, Oregon SHPO strongly recommends the landowner donate the artifacts to the Oregon Museum of Natural and Cultural History in Eugene or to a local museum.

How do I protect archaeological sites on my land?

An easy option for protecting archaeological sites on private land is to avoid them altogether. If ongoing or planned use of your land will not impact the site, the act of avoidance will afford some protection. For long term protection, a Conservation Easement ([ORS 271.715-271.795](#)) or Preservation Deed Covenant is an important option for archaeological sites on private land. An easement/covenant is a voluntary agreement that allows a landowner to limit the type or amount of development on their property while retaining private ownership of the land. People grant conservation easements because they want to protect their property from unwanted development while also wishing to retain land ownership. By granting a conservation easement a landowner can be assured that the property will be protected forever, regardless of who owns the land in the future. An additional benefit of granting a conservation easement is that the donation of an easement may provide financial advantage to the donor through an IRS tax deduction. The landowner continues to own the property after executing an easement, therefore they can sell, give or lease the property as before. However, all future owners assume ownership of the property subject to

the conditions of the easement. In order to maintain protection (whether avoidance, conservation easement or other measure is adopted), confidentiality of the location and type of site will prevent word from spreading that could result in illegal artifact collection or looting.

SHPO ARCHAEOLOGY STAFF

- John Pouley
State Archaeologist
503-480-9164
- Jamie French
Assistant State Archaeologist
503-979-7580
- Koren Tippet
Archaeology Inventory & Survey Coordinator
971-304-4737



Oregon Historic Preservation Office
www.OregonHeritage.org
oregon.heritage@opr.d.oregon.gov
 (503) 986-0690

APPENDIX A

VISUAL REFERENCE GUIDE TO ENCOUNTERING ARCHAEOLOGY



Figure 1: Stone flakes



Figure 2: Stone tool fragments



Figure 3: Cordage



Figure 4: Shell midden



Figure 5: Historic glass artifacts

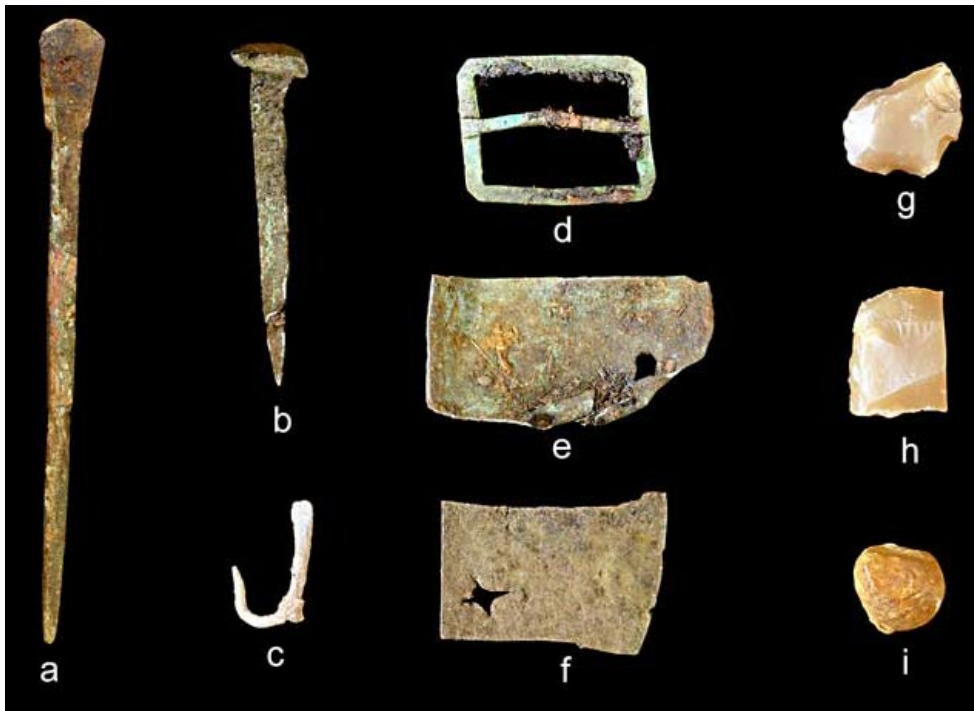


Figure 6: Historic metal artifacts



Figure 7: Historic building foundations



Figure 8: 18th Century ship

Monday, April 20, 2026

April 20, 2026
Attachment E.1
telephone: [REDACTED]

To whom it may concern:

I am writing in regards to a notice of public hearing - historic review for Exterior Alterations. Christina Buskell (who is a big real estate developer recently purchased the little house next to mine. I live at 504 SW 9th Str, Albany, OR. I am 87 years old, so please forgive my writing. I used to be a great typist but I can't do that anymore.

I am protesting her plans. I have lived here for 44 years. My house is over 100 years (it was the ~~Blogett~~ Blogett House back then.

~~Blogett~~ Jim Blogett built that ~~litt~~ little house for his grandfather years ago. At that time my house 504 x 5-12 ~~was~~ was on the same lot. Anyway it was never a historic home - it was just a dampy little house for (over)

his grandfather - that's why ~~it~~ ^{it} ~~has~~ ^{has} ~~no~~ ^{no} ~~foundation~~ ^{foundation}. Attachment E-2

Years later after the grandfather died he turned it ^{into} a rental and Jim ~~Blog~~ Blodgett (who was an attorney) moved to California.

Jim ~~Blodgett~~ Blogett before he died fixed it up real nice as a rental. ~~Recently~~ Recently a young couple rented it for several years (they were students at U. of U. (Oregon University) until they ~~graduated~~ graduated & moved back home.

Anyway - it is now a total mess

ever since the present owner bought it - they, (at first) were going to put a foundation on it but ~~it~~ quit in the middle of it, so now it is uninhabitable. Anyway I have lived here (next door ^{my house}) for 44 years and leaving it to my son when I die. He grew up here & loves ^{my} the house & the historic district.

Christa Wimmes

Property Search Online

Account 134763 [Assessment Summary](#)

[Account](#) [Taxes](#) [Sales History](#) [Value History](#) [Reports](#) [Files](#)

Real Property**Situs Address**

512 9TH AVE SW ALBANY OR 97321

Mailing Address

BUSHNELL CHRISTINA J & CARSON T
512 9TH AVE SW
ALBANY OR 97321

Map and Taxlot

11S04W12-AD-07700

Owner

BUSHNELL CHRISTINA J & CARSON T

[Related Accounts](#)[Name Ledger](#) [Names](#)

Assessment



Assessment Year [Assessment Summary](#)

	RMV	MAV	AV
Land	\$122,000		
Improvements	\$100,800		
Total	\$222,800	\$103,000	\$103,000

Account Status	Active
Size	4,015 Sqft
Property Class	101 - RESIDENTIAL IMPROVED
Legal Description	MONTEITH'S SOUTHERN ADDIT BLK-77
Notations	None
Special Assessments	None

Improvements

[Floor Plan](#)

	Bldg #	Year Built	Description	Livable Size	Stat Class	Attachments	Code Area
	100	1944	RES One story	776	121		00846
	101	0	Residential Other Improvements	0	110		00846

© 2022 – 2026 Helion Software
All rights reserved