



LANDMARKS COMMISSION AGENDA

Wednesday, September 2, 2026

6:00 p.m.

This meeting includes in-person and virtual participation.

Council Chambers

333 Broadalbin Street SW

Or join the meeting here:

<https://council.albanyoregon.gov/groups/lac/zoom>

Phone: 1 (253) 215-8782 (long distance charges may apply)

Meeting ID: 891-3470-9381 Passcode: 530561

Please help us get Albany's work done.

Be respectful and refer to the rules of conduct posted by the main door to the Chambers and on the website.

1. Call to Order and Pledge of Allegiance

2. Roll Call

3. Approval of Minutes

- August 5, 2026 [Page 3 – Page 6]

4. Public Comment

5. Scheduled Business

A. HI-13-26, Type III – Quasi-Judicial Process [Page 7 – Page 40]

Summary: Historic Review for Exterior Alterations and the Use of Substitute Materials for the replacement of four exterior windows located on the southwest façade (alley facing).
(Project Planner – Jennifer Cepello jennifer.cepello@albanyoregon.gov)

Persons wanting to provide testimony may:

- 1- Email written comments to cd.testimony@albanyoregon.gov, including your name, before **noon on the day of the meeting**.
- 2- To comment virtually during the meeting, register by emailing cd.testimony@albanyoregon.gov, before **noon on the day of the meeting**, with your name. The chair will call upon those who have registered to speak.
- 3- Appear in person at the meeting and register to speak.

6. Article 7 Discussion

albanyoregon.gov/cd



7. Business from the Commission
8. Staff Updates
9. Next Meeting Date: October 14, 2026
10. Adjournment

This meeting is accessible to the public via video connection. The location for in-person attendance is accessible to people with disabilities. If you have a disability that requires accommodation, please notify city staff at least 48 hours in advance of the meeting at: cdaa@albanyoregon.gov or call 541-917-7550

Testimony provided at the meeting is part of the public record. Meetings are recorded, capturing both in-person and virtual participation, and are posted on the City website.



MINUTES

August 5, 2026

6:00 p.m.

Hybrid – Council Chambers

Approved: DRAFT

Call to Order

Chair Robinson called the meeting to order at 6:00 p.m.

Pledge of Allegiance

Roll Call

Members present: Camron Settlemier, Chad Robinson, Richard Engeman, Vance McDermott, Mason Cox

Members absent: Cathy Winterrowd, Rayne Legras

Approval of Minutes for July 1, 2026

Commissioner Settlemier had edits to the June 5 minutes. Settlemier motioned for approval of the June 5, 2026 meeting minutes, with edits. Commissioner McDermott seconded the motion. All voted and motion passed 5-0.

Approval of Minutes for July 15, 2026

Commissioner Settlemier motioned for approval of the July 15, 2026 meeting minutes, as presented. Commissioner McDermott seconded the motion. All voted and motion passed 5-0.

Comment

Lonna Capaci, Visitor Service/Historic Resources Manager for the Albany Visitors Association (AVA) reported on the Summer Interior Home Tour, on Saturday, July 25th. It was very well attended with 263 in attendance, of which there were over 100 ticket sales on that day. The tour included 5 historic homes. She shared on her volunteer opportunity at the Great Oregon Steam Up, on August 1st in Brooks. As a representative of the Albany Downtown Association, she shared the Association's enthusiasm with the opening of Blacksmith Coffee Company, located in the old Urban Ag Building on 2nd Avenue. The building still showcases the original iron rings on one wall, from its original use as a blacksmith shop.

Liz Rapp spoke on the rails in front of the Electric Train Station, located within the road. Albany is known as "The Hub City", due to the large number of trains that departed Albany each day, heading in five different directions. This was the most trains for the state, outside of Portland. Although the city has done an admirable job protecting the historic buildings, it has not protected any of the original tracks that were so vital to the community. She shared that there is a small section of the original tracks, on 5th Ave, that are now visible at the edge of the street where the street has started to deteriorate. Rapp shared a packet* to the Commissioners, showing details on the dimensions and types of materials the historic tracks consisted of. She explained that the space is located within a parallel parking space and doesn't interfere with normal traffic. She asked to have staff work with Public Works to identify and flag the tracks, as a historic resource in Albany, protecting them from damage. She also asked for a long term plan to preserve the rails and brick paving as an exposed street-scape feature in front of the Oregon Electric Station. Chair Robinson asked Staff for guidance on how to proceed. Martineau recommended that the commission could make and pass a motion to move this forward in the process. Staff would then work with Public Works staff to make it happen. Settlemier noted a few additional locations in Albany that rails are also becoming visible.

Motion: Settlemier made a motion to direct staff to include the Oregon Electric trackage street-scape, at Baker and 5th Avenue, to be included as part of the Hackleman National Historic District and recognize that as a structure of that historic district. Engeman described details about the trains that serviced Albany. Engeman seconded the motion. Roll call vote was requested. Yes votes: Engeman, Settlemier, Robinson, Cox, McDermott. No votes: none. Motion passed 5-0

Scheduled Business

Quasi-Judicial Public Hearing on Planning File HI-10-26 - Historic Review of Exterior Alterations to replace the existing handrails on the steps leading to the Old City Hall/Federal Building at 240 2nd Ave SW.

Chair called the public hearing to order at 6:17 p.m.

Commission Declarations

- No members declared any Conflict of Interest
- No members declared any Ex-Parte Contact
- Settlemier, Robinson and McDermott reported a drive/walk by
- No members abstained from the deliberation
- There were no public challenges to participation of commission members

Reading of Hearing Procedures

Planning Manager, David Martineau, read the hearing procedures.

Staff Report

Project Planner, Jennifer Cepello, presented the staff report and slides*. This is for HI-10-26, a historic review of exterior alterations, located at 240 2nd Ave SW. The proposed work is to replace the handrails on the exterior steps and to install handrails in multiple other locations.

Applicant Testimony

Scott Lepman, the applicant, described the proposed alterations, which would be adding handrails up the side of the steps leading to the front door, along the two front porticos, side steps, ADA ramp, and a set up at the rear of the building. He also discussed and shared a handout* offering up the two options to secure the railings to the concrete steps.

Staff questions

McDermott asked for clarification on the style of railing, having different depictions in the application. There was discussion about the type of material to be used in the fabrication of the railing, as well as location of each railing. Lisa Kanaski, staff of Lepman, came forward to explain the location of new installations of the handrails. Robinson asked if the applicant would be ok with returning to a future meeting, to see the exact style of handrails. Lepman was agreeable to the option, if the Commissioners needed more information.

Public Testimony

None.

Waiver

Chair asked if the applicant wished to waive the 7-day waiting period for submitting additional written arguments. Lepman agreed to waive the waiting period.

Chair Robinson called the public hearing closed at 6:50 p.m.

Commission Deliberation

Settlemier did not have an issue with the style of handrails. Robinson agreed on the style and the option to connect to the concrete. There was discussion on crafting a motion.

Motion: Cox motioned to approve the exterior alterations, including the conditions of approval, including that the railing would be located on either side of the primary stairs and porch, at the ADA ramp, and small section needed on the west side steps. They will be constructed of fabricated

steel, and that the balusters mirror the interior balusters. In the event that additional railings are required on the primary entrance stairs, they are also approved. Commissioner McDermott seconded. The vote passed with 5-0.

Scheduled Business

Quasi-Judicial Public Hearing on Planning File HI-12-26 - Historic Review of Exterior Alterations to 426 1st Ave SW. This is to replace a window with a second entrance.

Commission Declarations

- McDermott discussed a potential Conflict of Interest
- No members declared any Ex-Parte Contact
- Engeman, Settlemier, Cox, McDermott reported a drive/walk by
- Robinson abstained from the deliberation.
- There were no public challenges to participation of commission members.

Reading of Hearing Procedures

Project Planner, Jennifer Cepello, read the hearing procedures.

Staff Report

Planning Manager, David Martineau, presented the staff report and slides*. This is to restore the second entrance to 426 1st Ave SW.

Commissioner Settlemier called the public hearing to order at 7:03 p.m.

Public Testimony

None.

Applicant Testimony

Derrick Whiteside, owner of the property, explained the proposal to restore the second front entrance to the building. This entrance was removed in 1987 to operate as one retail space. He wants to restore the second entrance to return the front to its original look.

Staff questions

McDermott asked for clarification on the size of the second archway and proposed doorway. Whiteside will have the second door and transom match the original one in size and materials used. Settlemier asked for specifics on the transom, since the images did not match the proposed plans. Whiteside will have an identical door to what is installed on the original one.

Public Testimony

None.

Waiver

Chair asked if the applicant wished to waive the 7-day waiting period for submitting additional written arguments. The applicant agreed to waive the waiting period.

Commissioner Settlemier called the public hearing closed at 7:14 p.m.

Commission Deliberation

McDermott stated that matching the doorways makes sense although it is not historic in nature. He recommended to have a condition that the two doors match. Cox and Engeman agreed. Settlemier reiterated the transom but liked that the second door is being reinstalled.

Motion: Commissioner McDermott made a motion to approve the exterior alteration, with conditions that the wood transoms match in look and materials. Engeman seconded and all voted to approve. Motion passed 4-0.

Article 7 Discussion

Planning Manager, David Martineau, asked that the discussion be tabled and that commissioners send him all their notes to make it a more effective meeting. Robinson asked about how much time would be available at the September meeting, for the Article 7 discussion.

Business from the Commission

McDermott, Robinson and Settlemer participated in the Home Tour. Looking forward to the one in December.

Business from Staff

None

Next Meeting Dates

The next meeting is scheduled for September 2, 2026, at 6:00 p.m.

Adjournment

Chair Robinson adjourned the meeting at 7:24 p.m.

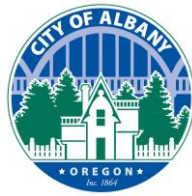
Respectfully submitted,

Reviewed by,

Talley Richardson
Administrative Assistant

David Martineau
Planning Manager

**Documents discussed at the meeting that are not in the agenda packet are archived in the record. The documents are available by emailing cdaa@albanyoregon.gov.*



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | COMMUNITY DEVELOPMENT 541-917-7550

Staff Report

Historic Review of Exterior Alterations and Substitute Materials

HI-13-26

August 26, 2026

Summary

This staff report evaluates a Historic Review of Substitute Materials and Exterior Alterations for the Old Armory building, an individually listed building (Attachment A). The applicant proposes replacing four existing windows with fiberglass windows and composite trim.

Application Information

Review Body:	Landmarks Commission (Type III review)
Staff Report Prepared By:	Jennifer Cepello, Planner III
Property Owner/Applicant:	Linn County; PO Box 100, Albany, OR 97321
Representative:	Varitone Architecture, LLC; PO Box 3420, Albany, OR 97321
Address/Location:	104 4th Ave SE
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-03W-07BB, Tax Lot 4300
Zoning:	Lyon-Ellsworth (LE) District; Secondary Climate Friendly Area (CFA)
Total Land Area:	13,695 square feet
Existing Land Use:	Institutional Uses (Government Offices)
Neighborhood:	Central Albany
Surrounding Zoning:	North: Lyon-Ellsworth (LE) East: LE South: LE West: LE
Surrounding Uses:	North: Retail services/restaurant East: Commercial Business South: Parking lots/Commercial Business West: Institutional Uses (Court House)
Prior History:	None

Notice Information

On August 12, 2026, a notice of public hearing was mailed to property owners within 100 feet of the subject property. On August 24, 2026, notice of public hearing was also posted on the subject site. As of August 23, 2026, no comments have been received.

Analysis of Development Code Criteria

Historic Review of Exterior Alterations Generally (ADC 7.120)

Albany Development Code (ADC) review criteria for Historic Review of Exterior Alterations Generally (ADC 7.120) are addressed in this report for the proposed development. The criteria must be satisfied to grant approval for this application. Code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Exterior Alteration Criteria (ADC 7.120)

1. **The Director will approve residential alteration requests if one of the following criteria is met:**
 - a. **There is no change in historic character, appearance, or material composition from the existing structure.**
 - b. **The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.**
 - c. **The proposed alteration is not visible from the street.**
2. **For all other requests, the Landmarks Commission will review and process the alteration proposal. The applicant and adjoining property owners within 100 feet will receive notification of the Landmarks Commission public hearing on the proposal. The Landmarks Commission will accept written and verbal testimony on the proposal. For buildings on the Special Assessment of Historic Property Program, the Landmarks Commission decisions will be forwarded to the State Historic Preservation Office.**

Findings of Fact

- 1.1 According to the Historic Resource Survey (Attachment B), the structure has a historic name "Old Armory". This building was constructed circa 1910 in a Castellated Gothic Revival style. The building is constructed with brick in a common bond pattern. The decorative features upon the front (east) façade include five bays and a segmental arched opening that is centered in the first three bays. The front entrance is emphasized by the placement of a large three-paned Gothic arch window framed by buttresses on each side. The front façade also contains two octagonal two-story turrets with battlements and blind windows flanking the first three bays. The two northeast bays are topped by a flat parapet with corbeled frieze and quoins on the fifth bay. The north (4th Ave) façade contains another Castellated Gothic entrance with which is also flanked by two octagonal two-story turrets with windows. The north entrance contains an archway and is topped with three separate windows. Both the east and north entrances are topped with a circular seal of Oregon.
- 1.2 The southern and western facades are relatively unadorned.
- 1.3 The subject property is not located within a National Register Historic District but is individually listed on the National Register of Historic Places and rated as Historic Contributing. The structure is not part of the Special Assessment of Historic Property Program.
- 1.4 The structure is located at 104 4th Avenue SE on a 13,296-square-foot lot at the corner of Lyon Street, 4th Avenue and an unnamed half-block alley located between 4th Avenue and 5th Avenue (Attachment A). The structure is setback approximately five feet from the

property line along Lyon Street; on the property line along 4th Avenue and on the property line to the west, and three feet along the property line abutting the half-block alley.

- 1.5 Exterior alterations proposed with this application include the replacement of four windows upon the southwestern façade. These proposed alterations are located upon a non-residential structure and will be visible from Lyon Street and the half-block alley, all of which are public right-of-way; therefore, the proposed development will be reviewed and processed by the Landmarks Commission.

Exterior Alteration Criteria (ADC 7.150-7.165)

Section 7.150 of the ADC, Article 7, establishes the following review criteria in **bold** for Historic Review of Exterior Alterations applications. For applications other than the use of substitute materials, the review body must find that one of the following criteria has been met in order to approve an alteration request.

- a. **The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure; OR**
- b. **The proposed alteration is compatible with the historic characteristics of the area and with the existing structure in massing, size, scale, materials, and architectural features.**

Findings of Fact

- 1.1 Location and Historic Character of the Area. The subject property is located at 104 4th Avenue SE in the Lyon-Ellsworth (LE) zoning district and is independently listed on the National Register of Historic Places. Surrounding uses are in the LE zoning district and are developed with a mixture of commercial and institutional uses.
- 1.2 Historic Rating. The structure is rated as a Historic Contributing resource and is independently listed on the National Register of Historic Places.
- 1.3 History and Architectural Style. The structure's historic name is "Armory" and is commonly referred to as "Old Armory". The Armory was constructed circa 1910 by the State of Oregon. The structure served as an Oregon National Guard Armory until 1974. The Armory was used as a base during World War II for the Coast Artillery unit which was tasked with the harbor defense of the Columbia River. After World War II the armory remained in the Oregon National Guard ownership and served as a social center holding meetings and events.

The nomination form lists the architectural style as castellated gothic revival. The Old Armory's front façade (east) is divided into five bays with the main entry containing a segmental arched opening and is centered in the first three bays. The entrance is emphasized by the placement of a large three-paned gothic arch window on top of it and framed by buttresses on each side. The front façade also contains two octagonal two-story turrets with battlements and blind windows flanking the first three bays. The two northeast bays are topped by a flat parapet with corbeled frieze with quoins on the fifth bay. The Old Armory contains a secondary castellated gothic entrance upon the north façade which is also flanked by two octagonal two-story turrets with windows. The main entrance contains an archway and is topped with three separate windows.

- 1.4 Proposed Exterior Alterations. The applicant proposes to replace four windows upon the southwestern façade. The applicant proposes replacing the existing windows with Milgard C650 Ultra Series fixed windows, which is a fiberglass material window. The applicant also proposes replacing the deteriorated window trim with Boral TruExterior, a non-wood

composite, trim. The applicant states the replacement trim will match the existing profile, dimensions, and appearance.

ADC 7.150 further provides the review body will use the Secretary of the Interior's Standards for Rehabilitation as guidelines in determining whether the proposed alteration meets the review criteria. Conclusions for ADC 7.150 and 7.160 will be discussed below.

Secretary of Interior's Standards for Rehabilitation – (ADC 7.160)

The following standards are to be applied to rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**
- 2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.**
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic material shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.**
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Findings of Fact

- 2.1 Building Use (ADC 7.160(1)). The Old Armory's original use was an armory for the Oregon National Guard until 1974 when it was purchased by Linn County. Linn County has utilized the building for government offices as well as meeting and event spaces.

The application does not propose a change in its current uses within the structure, which is consistent with ADC 7.160(1).

- 2.2 Historic Character (ADC 7.160(2)). The structure was constructed in the Castellated Gothic Revival style. The applicant is proposing to replace four windows on the southwestern façade. The windows are to be replaced with Milgard C650 Ultra Series fixed windows, a fiberglass product, to be installed within the existing window openings. The project also includes the replacement of deteriorated window trim with Boral TruExterior trim, a non-wood composite material. The replacement trim will match the existing profile, dimensions, and appearance. The proposed exterior alterations are located upon the southern façade of the structure which is noted in the Historic Resource Survey as being relatively unadorned. The Commission may determine if this standard is met.
- 2.3 Historic Record & Changes (ADC 7.160(3) and (4)). No conjectural features or architectural elements from other styles, buildings, or time periods are proposed. This proposal is consistent with ADC 7.160(3) and (4).
- 2.4 Distinctive characteristics (ADC 7.160(5)). The nomination form lists the architectural style as castellated gothic revival. The Old Armory's front façade (east) is divided into five bays with the main entry containing a segmental arched opening and is centered in the first three bays. The entrance is emphasized by the placement of a large three-paned gothic arch window on top of it and framed by buttresses on each side. The front façade also contains two octagonal two-story turrets with battlements and blind windows flanking the first three bays. The two northeast bays are topped by a flat parapet with corbeled frieze with quoins on the fifth bay. The Old Armory contains a secondary castellated gothic entrance upon the north façade. The Historic Resource Survey noted the south and west sides as being relatively unadorned.
- The applicant finds the Old Armory's windows to have historically been a prominent architectural feature of the building. The southwest elevation maintains a consistent pattern and rhythm of window openings that contributes to the building's overall architectural character. The applicant proposes to replace four existing windows upon the southern façade (Attachment D.3). The existing window openings will remain unchanged in size, location, and configuration. No new openings are proposed, and no existing openings will be removed or modified.
- The Commission may determine if this standard is met.
- 2.5 Deteriorated Features (ADC 7.160(6)). The applicant proposes to replace four windows and the associated window trim located on the south façade. The applicant states the existing window openings will remain unchanged in size, location, and configuration. No new openings are proposed, and no existing openings will be removed or modified. The application materials did not go into detail on the level of deterioration of the windows and trim. The applicant has applied for a concurrent review of Substitute Materials which are address later in this staff report.
- The Commission may determine if this standard is met.
- 2.6 Use of Chemical or Physical Treatments (ADC 7.160(7)). The applicant states they will not use chemical or physical treatments. Based on this, the standard is met.
- 2.7 Significant Archaeological Resources (ADC 7.160(8)). No ground disturbing work is proposed with this application. As no groundwork is proposed, no disturbance of any archaeological resources is anticipated. Based on these facts, this standard appears to be met.

- 2.8 Historic Materials (ADC 7.160(9)). The applicant states that the proposed replacement windows and trim will be installed within the existing openings and will approximate the placement, profile, size, proportion, and general appearance of the existing windows and trim.

The application materials indicate the windows are to be replaced with a fiberglass substitute, which will be materially different from the historic windows that characterize the property.

The Commission may determine if this standard is met.

- 2.9 New Additions (ADC 7.160(10)). The applicant does not propose any new additions with this application. Based on this fact, this standard is met.

Conclusions

- 2.1 The Commission may determine if the Secretary of the Interior's standards are met.

Historic Review of the Use of Substitute Materials (ADC 7.170-7.225)

ADC eligibility for the use of substitute materials (ADC 7.200(1)) and review criteria for Historic Review of the Use of Substitute Materials (ADC 7.200) are addressed in this report for the proposed development. The criteria must be satisfied to grant approval for this application. Code criteria are written in **bold** followed by findings, conclusions, and conditions of approval where conditions are necessary to meet the review criteria.

Eligibility for the Use of Substitute Materials (ADC 7.200)

The City of Albany interprets the Secretary of Interior's Standards for Rehabilitation on compatibility to allow substitute siding and windows only under the following conditions:

The building or structure is rated historic non-contributing; OR

In the case of historic contributing buildings or structures, the existing siding, windows or trim is so deteriorated or damaged that it cannot be repaired and finding materials that would match the original siding, windows or trim is cost prohibitive.

Any application for the use of substitute siding, windows, and/or trim will be decided on a case-by-case basis. The prior existence of substitute siding and/or trim on the historic buildings on the Local Historic Inventory will not be considered a factor in determining any application for further use of said materials.

The applicant proposes replacing four wood windows with Milgard C650 Ultra Series fixed windows, a fiberglass product, to be installed within the existing window openings. The project also includes the replacement of deteriorated window trim with Boral TruExterior trim, a non-wood composite material.

Findings of Fact

- 1.5 Eligibility and Existing Conditions. The Old Armory was constructed circa 1910 and is individually listed on the National Register of Historic Places as well as a contributing resource.

The applicant proposes to replace four windows upon the south façade of the Old Armory. The applicant finds the existing windows require replacement due to age, condition, and performance deficiencies. The replacement of the windows will require the removal and replacement of the associated window trim.

- 3.2 Substitute Materials. The applicant proposes replacing the four windows with Milgard C650 Ultra Series fixed windows, a fiberglass product and to replace the wood trim with Boral TruExterior trim, a non-wood composite material.

Conclusions

- 3.1 The structure is rated as a Historic Contributing resource and is individually listed on the National Register of Historic Places; therefore, the proposal is not eligible for review under the first threshold in ADC 7.200.
- 3.2 The applicant proposes to replace the existing windows and trim with Milgard C650 Ultra Series fixed windows, a fiberglass product, and Boral TruExterior, a non-wood composite material.
- 3.3 Based on the above analysis, the Commission may determine if the eligibility threshold is met.

Design and Application Criteria for the Use of Substitute Materials (ADC 7.210)

Criterion 1

The proposed substitute materials must approximate in placement, profile, size, proportion, and general appearance of the existing siding, windows or trim.

Findings of Fact

- 1.1 The applicant states the proposed Milgard C650 Ultra Series windows will be installed within the existing window openings. The existing opening sizes, locations, and configurations will remain unchanged. The proposed windows measure approximately 14-1/2 inches by 63-1/2 inches and maintain the existing proposition of the openings.
- 1.2 The replacement trim, Boral TruExterior trim, will match the existing trim profile, dimensions, and appearance. A photograph example can be found within Attachment D.3.

Conclusions

- 1.1 The proposed replacement windows and trim approximate the placement, profile, size, proportion, and general appearance of the existing windows and trim.
- 1.2 The Commission may determine if this criterion is met.

Criterion 2

Substitute siding, windows and trim must be installed in a manner that maximizes the ability of a future property owner to remove the substitute materials and restore the structure to its original condition using traditional materials.

Findings of Fact and Conclusions

- 2.1 The applicant materials indicate the replacement windows will be installed within the existing openings without modifications to the surrounding masonry. The replacement trim will be mechanically fastened and may be removed and replaced in the future without damaging the historic masonry wall.
- 2.2 The Commission may determine if this criterion is met.

Criterion 3

The proposed material must be finished in a color appropriate to the age and style of the house, and the character of both the streetscape and the overall district. The proposed siding or trim must not be grained to resemble wood.

Findings of Fact and Conclusions

- 3.1 The applicant states that the windows will have a Black Bean finish on both of the interior and exterior. Replacement trim will be painted to match the existing appearance of the building. The proposed finishes are consistent with the existing character of the building and surrounding area.
- 3.2 The Commission may determine if this criterion is met.

Criterion 4

The proposed siding, windows or trim must not damage, destroy, or otherwise affect decorative or character-defining features of the building. Unusual examples of historic siding, windows and/or trim may not be covered or replaced with substitute materials.

Findings of Fact

- 4.1 The applicant states the proposed project is limited to the replacement of four existing windows and associated window trim on the southwest elevation. No modifications are proposed to the historic masonry, pilasters, roof form, structural systems, or other character-defining architectural features.
- 4.2 The Commission may determine if this criterion is met.

Criterion 5

The covering of existing historic wood window or door trim with substitute trim will not be allowed if the historic trim can be reasonably repaired. Repairs may be made with fiberglass or epoxy materials to bring the surface to the original profile, which can then be finished, like the original material.

Findings of Fact and Conclusions

- 5.1 The applicant states the removal of the existing windows will require removal of the associated window trim. New Boral TruExterior trim is proposed only where replacement is necessary. The replacement trim will match the existing profile, dimensions, and appearance.
- 5.2 Based upon the application materials the substitute trim will replace the existing wood trim and will not cover the existing historic wood trim.
- 5.3 The Commission may determine if this criterion is met.

Criterion 6

Substitute siding or trim may not be applied over historic brick, stone, stucco, or other masonry surfaces.

Findings of Fact

- 6.1 The applicant does not propose to install any siding or trim over historic brick, stone, stucco, or other masonry surfaces.
- 6.2 The applicant states no substitute siding is proposed. The replacement trim will be installed only at the window openings and will not be applied over historic masonry surfaces.
- 6.3 The Commission may determine if this criterion is met.

Criterion 7

The supporting framing that may be rotted or otherwise found unfit for continued support shall be replaced in kind with new materials

Findings of Fact

- 7.1 The applicant states no structure framing replacement is proposed as part of this project.
- 7.2 The Commission may determine if this criterion is met.

Criterion 8

The interior surface of the exterior wall shall receive a vapor barrier to prevent vapor transmission from the interior spaces.

Findings of Fact

- 8.1 The applicant states the project consists of window and trim replacement only. Exterior wall construction is not being modified.
- 8.2 This criterion is not applicable.

Criterion 9

Walls to receive the proposed siding shall be insulated and ventilated from the exterior to eliminate any interior condensation that may occur.

Findings of Fact

- 9.1 The application package does not include any replacement siding.
- 9.2 This criterion is not applicable.

Criterion 10

Sheathing of an adequate nature shall be applied to support the proposed siding material.

Findings of Fact

- 10.1 The application materials do not propose any alterations to the building's siding.
- 10.2 This criterion is not applicable.

Criterion 11

The proposed siding shall be placed in the same direction as the historic siding.

Findings of Fact

- 11.1 The application materials do not propose any alterations to the building's siding.
- 11.2 This criterion is not applicable.

Criterion 12

The new trim shall be applied so as to discourage moisture infiltration and deterioration.

- 12.1 The applicant states the proposed Boral TruExterior trim is specifically designed for exterior applications and is resistant to moisture-related deterioration. The trim will be installed with appropriate flashing, sealants, and weather-resistant construction practices.
- 12.2 The Commission may determine if this criterion is met.

Criterion 13

The distance between the new trim and the new siding shall match the distance between the historic trim and the historic siding.

- 13.1 The application materials do not propose the replacement of the exterior siding. The applicant states the replacement trim will match the existing profile and dimensions of the existing window openings.

13.2 The Commission may determine if this criterion is met.

Criterion 14

A good faith effort will be made to sell or donate any remaining historic material for architectural salvage to an appropriate business or non-profit organization that has an interest in historic building materials.

14.1 The applicant states any removed materials determined to have salvage value will be made available for reuse, salvage, or appropriate disposal at the owner's discretion.

14.2 Staff finds this criterion could be met with the following condition of approval: The owner shall make a good faith effort to reuse or salvage historic materials.

Overall Conclusions

The applicant proposes replacing four windows in the Old Armory building with Milgard C650 Ultra Series fixed windows, a fiberglass product, and to replace the window trim with Boral TruExterior, a non-wood composite material.

The Commission may determine if the decision criteria are met in order to approve this application.

Options

The Landmarks Commission has three options with respect to the subject application:

Option 1: Approve the requests as proposed;

Option 2: Approve the requests with conditions of approval;

Option 5: Deny the requests.

Motions

Approval: *I move to approve the exterior alterations and use of substitute materials including conditions of approval as noted in the staff report for application planning file no. HI-13-26. This motion is based on the findings and conclusions in the August 26, 2026, staff report and findings in support of the application made by the Landmarks Commission during deliberations on this matter.*

Approval with new conditions of approval: *I move to approve the exterior alterations (and/or) the use of substitute materials including conditions of approval as **drafted during this meeting** for application planning file no. HI-13-26. This motion is based on the findings and conclusions in the August 26, 2026, staff report and findings in support of the application made by the Landmarks Commission during deliberations on this matter.*

Denial: *I move to deny the exterior alterations (and/or) the use of substitute materials as detailed in planning file no. HI-13-26. This motion is based on the findings and conclusions made by the Landmarks Commission during deliberations on this matter.*

Proposed Conditions of Approval

Condition 1 **Exterior Alterations/Substitute Materials** – The proposed exterior alterations shall be performed and completed as specified in the staff report. Deviations from these descriptions may require additional review.

Condition 2 **Substitute Materials** – The owner shall make a good faith effort to reuse or salvage all historic materials.

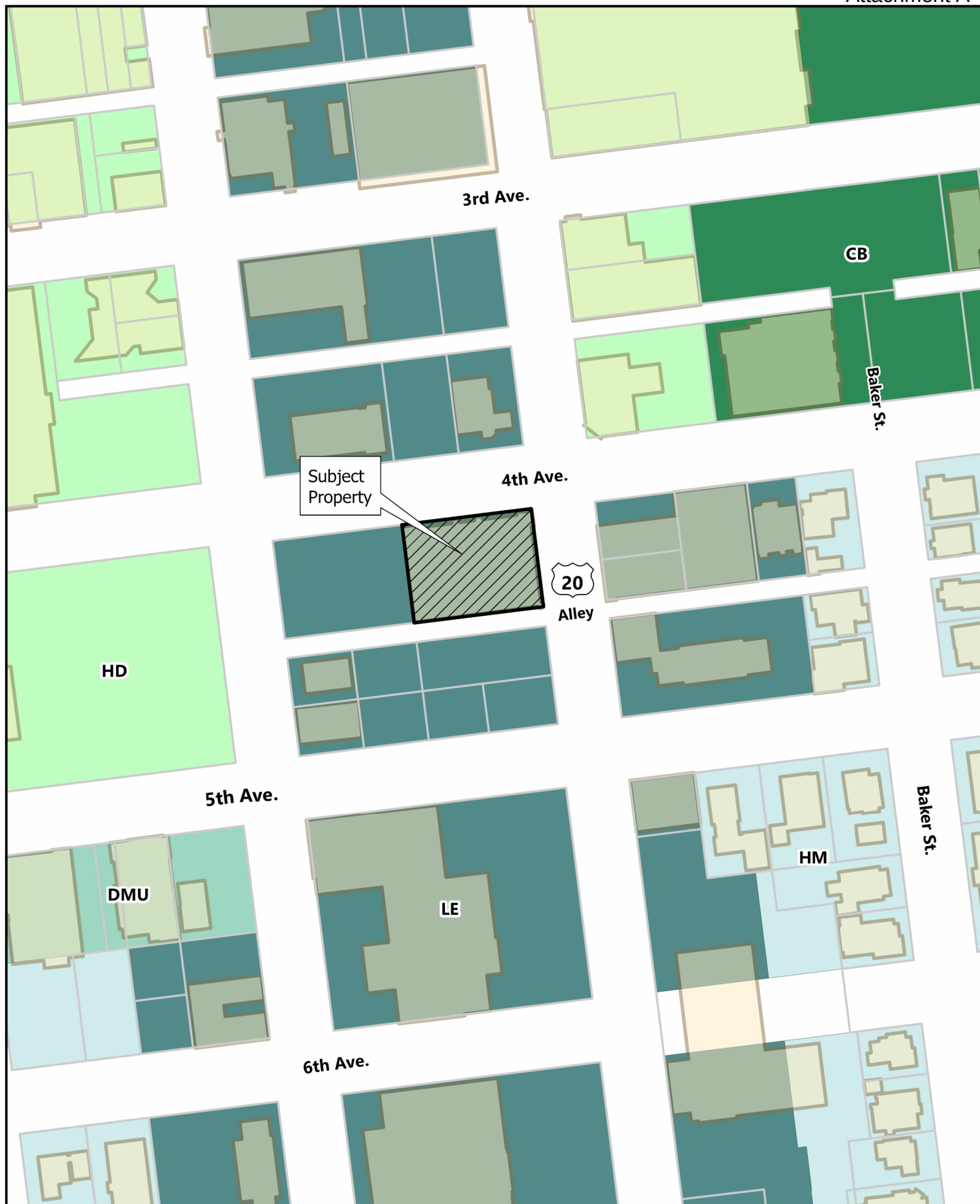
Condition 3 **Historic Review** – A final historic inspection is required to verify that the work has been done according to this application. Please call the historic planner (541-791-0176) a day or two in advance to schedule.

Attachments

- A. Location Map
- B. Historic Resource Survey
- C. Applicant's Narrative
- D. Building Elevations

Acronyms

ADC	Albany Development Code
HI	Historic file designation
LE	Lyon-Ellsworth Zoning District



0 50 100
Feet

Date: 8/4/2026 Map Source:

104 4th Avenue SE

Location Map

**OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM
COUNTY: LINN**

FIELD NO.: 23

HISTORIC NAME: Armory

COMMON NAME: Old Armory

ADDRESS: 104 Fourth Avenue SW

CITY: Albany

OWNER: Linn County, P. O. Box 100, Albany, OR 97321

BUILDER: State of Oregon

T/R/S: 11S, 3W, 7

TAX LOT: 4300

MAP NO: 11-3W-7BB

ADDITION: City of Albany

BLOCK: 30

LOT: 3 & 4 QUAD: Albany

DATE OF CONSTRUCTION: c. 1910

ORIGINAL USE: Armory

PRESENT USE: Linn County Offices

ARCHITECT: Unknown

THEME: 20th Century architecture\state

STYLE: Castleated Gothic Revival

BLDG. XXX

STRUC.

DIST.

SITE OBJ.

PLAN TYPE/SHAPE: Rectangle

FOUNDATION MATERIAL: Cement

ROOF FORM & MATERIALS: Flat with parapets

WALL CONSTRUCTION: Brick

PRIMARY WINDOW TYPE: six-over-one double-hung

EXTERIOR SURFACING MATERIALS: Brick in common bond pattern

DECORATIVE FEATURES: The front of the building is divided into five bays and faces Lyons Street. The main entry has a segmental arched opening and is centered in the first three bays. It is emphasized by the placement of a large three-paned Gothic arch window on top of it and framed by buttresses on each side. Flanking the first three bays are two octagonal two-story turrets with battlements and blind windows. The two northeast bays are topped by a flat parapet with corbeled frieze with quoins on the fifth bay. There is another Castleated Gothic entrance on the north side. The south and west sides are relatively unadorned.

OTHER: None

CONDITION:

GOOD XXX

FAIR

POOR

MOVED

DATE:

NO. OF STORIES: 2

BASEMENT (Y/N): Y

STRUCTURAL FRAME: Brick

EXTERIOR ALTERATIONS/ADDITIONS (DATED): Some windows have been replaced c. 1974

NOTEWORTHY LANDSCAPE FEATURES: None

ASSOCIATED STRUCTURES: None

KNOWN ARCHAEOLOGICAL FEATURES: None

SETTING: East facing building on the corner of Lyons Street and Fourth Avenue on the west side of Lyons Street

STATEMENT OF SIGNIFICANCE (Historical and/or architectural importance, dates, events, persons, contexts): The Old Armory is a good example of the Castleated Gothic style popular for National Guard Armories around the state. The Armory was built in 1910 by the State of Oregon. It served as an Armory until 1974. Minor interior modifications were made by the State of Oregon National Guard in 1959, 1961 and 1963. Linn County acquired the Armory in 1974 and utilized the building for one office area only in it's existing condition. In 1977 there was a major interior redesign by Thomas Merrill, Architect of Albany, Oregon. The remodeling was completed in 1978. The Armory served as a social center in Albany with clubs meeting here and events happening here (boxing matches, etc.). Until World War II the Coast Artillery unit was based here, tasked with the harbor defense of the Columbia River. The 1911-12 City Directory lists G Company - Third Infantry, O.N.G. Captain Stanley Hammel commanding, regional meetings every Monday evening.

SOURCES: Linn County records, National Guard records, 1911-12 City Directory

NEGATIVE NO.: N-9

SLIDE NO.: 23

ASSIGNED RATING: Primary

DATE: 07-91

RECORDED BY: R. Keeney

DATE: 04-03-90

SHPO INVENTORY NO: 54

**OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM
COUNTY: LINN**

FIELD NO.: 23

HISTORIC NAME: Armory

COMMON NAME: Old Armory

ADDRESS: 104 Fourth Avenue SW

CITY: Albany

OWNER: Linn County, P. O. Box 100, Albany, OR 97321

BUILDER: State of Oregon

T/R/S: 11S, 3W, 7

TAX LOT: 4300

MAP NO: 11-3W-7BB

ADDITION: City of Albany

BLOCK: 30

LOT: 3 & 4

QUAD: Albany

DATE OF CONSTRUCTION: c. 1910

ORIGINAL USE: Armory

PRESENT USE: Linn County Offices

ARCHITECT: Unknown

THEME: 20th Century architecture\state

STYLE: Castleated Gothic Revival

BLDG. XXX

STRUC.

DIST.

SITE OBJ.

PLAN TYPE/SHAPE: Rectangle

FOUNDATION MATERIAL: Cement

ROOF FORM & MATERIALS: Flat with parapets

WALL CONSTRUCTION: Brick

PRIMARY WINDOW TYPE: six-over-one double-hung

EXTERIOR SURFACING MATERIALS: Brick in common bond pattern

DECORATIVE FEATURES: The front of the building is divided into five bays and faces Lyons Street. The main entry has a segmental arched opening and is centered in the first three bays. It is emphasized by the placement of a large three-paned Gothic arch window on top of it and framed by buttresses on each side. Flanking the first three bays are two octagonal two-story turrets with battlements and blind windows. The two northeast bays are topped by a flat parapet with corbeled frieze with quoins on the fifth bay. There is another Castleated Gothic entrance on the north side. The south and west sides are relatively unadorned.

OTHER: None

CONDITION:

GOOD XXX

FAIR

POOR

MOVED

DATE:

NO. OF STORIES: 2

BASEMENT (Y/N): Y

STRUCTURAL FRAME: Brick

EXTERIOR ALTERATIONS/ADDITIONS (DATED): Some windows have been replaced c. 1974

NOTEWORTHY LANDSCAPE FEATURES: None

ASSOCIATED STRUCTURES: None

KNOWN ARCHAEOLOGICAL FEATURES: None

SETTING: East facing building on the corner of Lyons Street and Fourth Avenue on the west side of Lyons Street

STATEMENT OF SIGNIFICANCE (Historical and/or architectural importance, dates, events, persons, contexts): The Old Armory is a good example of the Castleated Gothic style popular for National Guard Armories around the state. The Armory was built in 1910 by the State of Oregon. It served as an Armory until 1974. Minor interior modifications were made by the State of Oregon National Guard in 1959, 1961 and 1963. Linn County acquired the Armory in 1974 and utilized the building for one office area only in it's existing condition. In 1977 there was a major interior redesign by Thomas Merrill, Architect of Albany, Oregon. The remodeling was completed in 1978. The Armory served as a social center in Albany with clubs meeting here and events happening here (boxing matches, etc.). Until World War II the Coast Artillery unit was based here, tasked with the harbor defense of the Columbia River. The 1911-12 City Directory lists G Company -Third Infantry, O.N.G. Captain Stanley Hammel commanding, regional meetings every Monday evening.

SOURCES: Linn County records, National Guard records, 1911-12 City Directory

NEGATIVE NO.: N-9

SLIDE NO.: 23

ASSIGNED RATING:

Primary

DATE: 07-91

RECORDED BY: R. Keeney

DATE: 04-03-90

OREGON INVENTORY OF HISTORIC PROPERTIES
HISTORIC RESOURCE SURVEY FORM - TWO

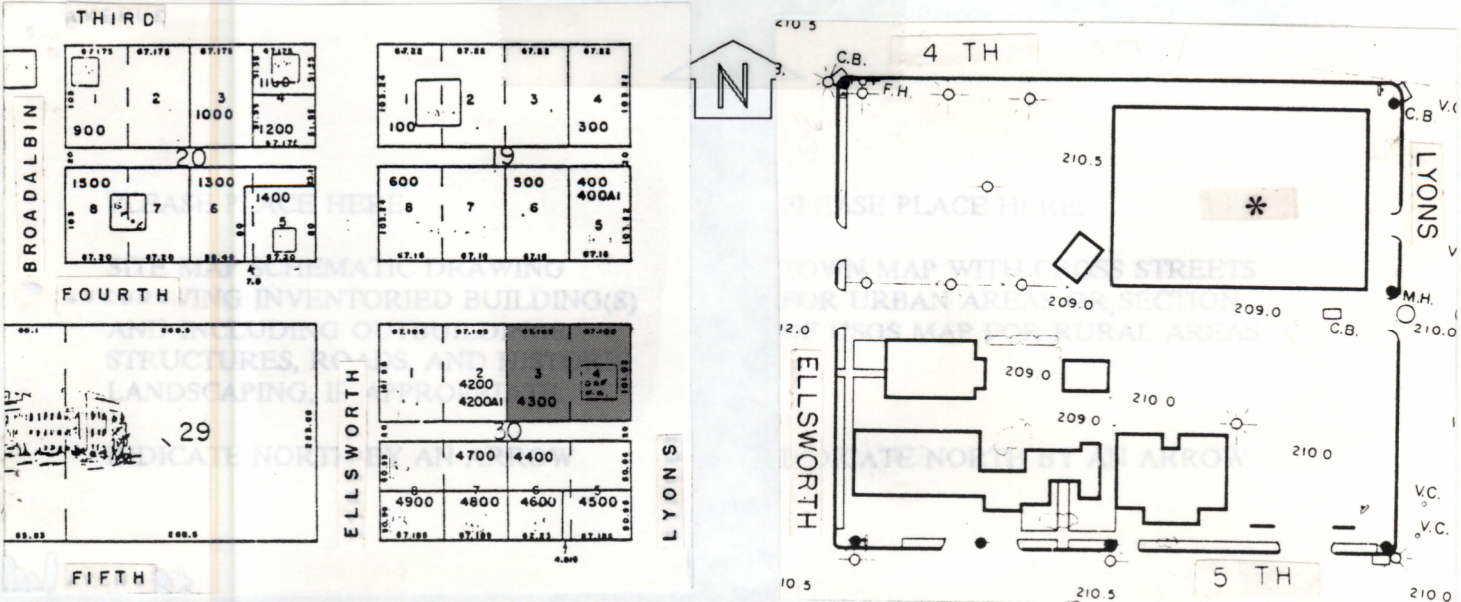
FIELD NO.: 23
NAME: Linn County
ADDRESS: 104 Fourth Avenue SW
QUADRANGLE: Albany

T/R/S: 11S, 3W, 7
MAP NO.: 11-3W-7BB TAX LOT: 4300



NEGATIVE NO.: N-9

SLIDE NO.: 23



GRAPHIC & PHOTO SOURCES: Albany Community Development Planning Division & R. Keeney



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

Historic Review of Exterior Alterations

Checklist and Review Criteria

INFORMATION AND INSTRUCTIONS:

- See fee schedule for filing fee (subject to change every July 1): staff will contact you for payment after submittal.
- All plans and drawings must be to scale, and review criteria responses should be provided as specified in this checklist.
- Application and materials must be submitted online through Accela at <http://www.albanyoregon.gov/permits>. Please call 541-917-7550 if you need assistance.
- Depending on the complexity of the project, paper copies of the application may be required.
- Before submitting your application, please check the following list to verify you are not missing essential information. An incomplete application will delay the review process.

HISTORIC REVIEW OF EXTERIOR ALTERATIONS SUBMITTAL CHECKLIST:

☐ **PLANNING APPLICATION FORM WITH AUTHORIZING SIGNATURES.**

☐ **PROPERTY AND PROJECT INFORMATION.**

Submit the following information (separately or on this page):

1. Historic District:

☐ Monteith ☐ Hackleman ☐ Downtown ☐ Local Historic ☐ Commercial/Airport

2. Historic rating:

☐ Historic Contributing ☐ Historic Non-Contributing ☐ Non-Historic (post 1945)

3. Year Built: _____ Architectural Style(s): _____

4. Years of exterior alterations, if any: _____

5. Please describe the proposed alteration(s) and the purpose of the alterations: _____

☐ **PHOTOGRAPHS.** Provide photographs that show the current condition of the area you intend to alter.

☐ **CONSTRUCTION PLANS/ELEVATION DRAWINGS.** Provide construction plans, architectural drawings or schematics showing detailed building elevations and exterior plans, and dimensions of all altered or new elements, including foundation, windows, and the setbacks to the property lines, materials proposed, profile/design, etc. If construction plans or drawings are not applicable to your project, then

albanyoregon.gov/cd



submit an accurate alteration description, including photographs, or other information that describes the project.

Note: Some properties may have covenants or restrictions, which are private contracts between neighboring landowners. These frequently relate to density, minimum setbacks, or size and heights of structures. While these covenants and restrictions do not constitute a criterion for a City land use decision, they may raise a significant issue with regard to the City's land use criteria. It is the responsibility of the applicant to investigate private covenants or restrictions.

☐ REVIEW CRITERIA RESPONSES.

On a separate sheet of paper, prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the following review criteria. Each criterion must have at least one finding of fact and conclusion statement. On a separate sheet of paper, prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the following review criteria. Each criterion must have at least one finding of fact and conclusion statement. (See Example Findings of Fact starting on last page.)

1. The Community Development Director will approve **residential** alteration applications if one of the following criteria is met:
 - a. There is no change in historic character, appearance, or material composition from the existing structure.
 - b. The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.
 - c. The proposed alteration is not visible from the street.
2. For all other exterior alteration requests, except for the use of substitute materials*, and including all **non-residential** requests, the review body must find that one of the following criteria has been met to approve an alteration request:
 - a. The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure, or
 - b. The proposed alteration is compatible with the historic characteristics of the area and with the existing structure in massing, size, scale, materials, and architectural features.

**There is a different application for the use of substitute materials. The review criteria for the use of substitute siding, windows, and trim shall be as found in ADC Sections 7.170-7.225.*

The review body will use the Secretary of the Interior's Standards of Rehabilitation as guidelines in determining whether the proposed alteration meets the review criteria [ADC Section 7.160].

The Secretary of the Interior's Standards for Rehabilitation. The following standards are to be applied to rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic material or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic material shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old, and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired [ADC Section 7.160].

HISTORIC REVIEW OF EXTERIOR ALTERATIONS – PROCESS AND PROCEDURE

Purpose (ADC 7.100). The purpose of reviewing alterations to historic landmarks is to encourage the preservation of characteristics that led to their designation as historic landmarks. Review is required for exterior alterations or additions to buildings or structures classified as historic contributing and historic non-contributing within the historic districts, and to landmarks outside the districts.

Exemption from Review (ADC 7.110). Historic review is not required for buildings or structures originally constructed after 1945 or for changes to paint color to any home or structure.

Procedure (ADC 7.120). A request for an exterior alteration is reviewed and processed by either the Community Development Director or the Landmarks Commission. The Landmarks Commission replaces the Hearings Board or Planning Commission as the review body. Any exterior or interior alteration to buildings participating in Oregon's Special Assessment of Historic Property Program will also require review and approval by the State Historic Preservation Office.

1. The Director will approve residential alteration requests if one of the following criteria is met:
 - a. There is no change in historic character, appearance, or material composition from the existing structure.
 - b. The proposed alteration materially duplicates the affected exterior building features as determined from an early photograph, original building plans, or other evidence of original building features.
 - c. The proposed alteration is not visible from the street.
2. For all other requests, the Landmarks Commission will review and process the alteration proposal. The applicant and adjoining property owners within 100 feet will receive notification of the Landmarks Commission public hearing on the proposal. The Landmarks Commission will accept written and verbal testimony on the proposal. For buildings on the Special Assessment of Historic Property Program, the Landmarks Commission decision will be forwarded to the State Historic Preservation Office.

EXAMPLE OF FINDINGS OF FACT

Criteria for Findings of Fact

Land use applications must include information that explains the intent, nature, and proposed use of the development, and other pertinent information that may have bearing on the action to be taken by the review authority. To be approved, a Historic Review application must address and demonstrate compliance with the applicable review criteria in Article 7 and related requirements. If the applicant's submittal is unclear or insufficient to demonstrate the review criteria are satisfied, the application will be delayed or denied.

Format for Findings of Fact

Statements addressing individual criteria must be in a "finding of fact" format. A finding of fact consists of two parts:

1. Factual information such as the distance between buildings, the width and type of streets, the particular operating characteristics of a proposed use, etc. Facts should reference their source: on-site inspection, a plot plan, City plans, etc.
2. An explanation of how those facts result in a conclusion supporting the criterion.

Example:

Criterion: The proposed alteration will cause the structure to more closely approximate the historical character, appearance, or material composition of the original structure than the existing structure.

Facts: The Cultural Resource Inventory indicates that the house was constructed c.1885 and the style is a Western Farmhouse. The decorative features noted are rectangular bays on the north and east sides with panels, turned porch columns and a fixed window with a diamond shaped pattern on the east side. Sanborn Fire map research indicates that the porch originally extended the full length of the west wing of the house.

This application proposes to restore the front porch to the full length of the west wing of the house. Additional porch columns are proposed to match the existing turned porch columns; a hipped roof is proposed consistent with existing entry and bays and Sanborn maps. The current porch, which now only covers the front door, is more of a covered entry than a porch. The balusters are a connected "sawn" design (rather than turned) that was typical in the late 19th century. (SEE ATTACHED DRAWING.)

Conclusion: Extending the porch to its original size will cause the structure to more closely approximate its historic character and appearance.



CITY OF ALBANY – HISTORIC REVIEW OF EXTERIOR ALTERATIONS FINDINGS OF FACT

Project: Linn County Armory Building
104 SE 4th Avenue, Albany, OR 97321

Architect: Varitone Architecture, LLC
231 2nd Ave SW
PO Box 3420
Albany, OR 97321

Basic Information about the building and Proposal

The Linn County Armory Building, located at 104 SE 4th Avenue in Albany, Oregon, was constructed in 1910 as an Oregon National Guard Armory. The building is individually listed on the National Register of Historic Places and remains an important historic resource within the City of Albany.

The proposed exterior alteration consists of replacing four existing windows located on the southwest elevation of the building. The replacement windows will be Milgard C650 Ultra Series fixed windows installed within the existing window openings. Existing window opening sizes, locations, and configurations will remain unchanged.

The project also includes replacement of deteriorated window trim with Boral TruExterior trim. The replacement trim will match the existing profile, dimensions, and appearance.

No modifications are proposed to the building footprint, masonry walls, structural systems, architectural detailing, or other character-defining historic features.

Findings & Facts:

Criterion:

The proposed alteration is compatible with the historic characteristics of the area and with the existing structure in massing, size, scale, materials, and architectural features.

Facts:

Historic photographs of the Linn County Armory Building indicate that windows have historically been a prominent architectural feature of the building. The southwest elevation maintains a consistent pattern and rhythm of window openings that contributes to the building's overall architectural character.

The proposed work is limited to the replacement of four existing windows and associated window trim on the southwest elevation. Existing window openings will remain unchanged in size, location, and configuration. No new openings are proposed, and no existing openings will be removed or modified.



The proposed replacement windows are Milgard C650 Ultra Series fixed windows measuring approximately 41-1/2 inches by 63-1/2 inches. The windows will be installed within the existing openings and will feature Black Bean paint interior and exterior finishes.

Existing deteriorated window trim is proposed to be replaced with Boral TruExterior trim. The replacement trim will match the existing profile, dimensions, and appearance.

The project does not involve alterations to the building's historic masonry, decorative features, pilasters, roof form, structural systems, or other character-defining architectural elements.

Conclusion:

The proposed replacement windows and trim will be installed within the existing openings and will approximate the placement, profile, size, proportion, and general appearance of the existing windows and trim. Existing masonry, architectural features, and character-defining elements will remain unchanged.

The project maintains the existing window openings, preserves the overall appearance of the southwest elevation, and does not alter significant historic architectural features. The proposed work is compatible with the historic characteristics of the structure and surrounding area and will not adversely affect the historic integrity of the building.

Therefore, the proposed alteration satisfies the applicable review criteria of Albany Development Code Sections 7.150 and 7.210.



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

Historic Review of Substitute Materials

Checklist and Review Criteria

INFORMATION AND INSTRUCTIONS:

- See fee schedule for filing fee (subject to change every July 1); staff will contact you for payment after submittal.
- All plans and drawings must be to scale, and review criteria responses should be provided as specified in this checklist.
- Application and materials must be submitted online through Accela at <http://www.albanyoregon.gov/permits>. Please call 541-917-7550 if you need assistance.
- Depending on the complexity of the project, paper copies of the application may be required.
- Before submitting your application, please check the following list to verify you are not missing essential information. An incomplete application will delay the review process.

REQUIRED ATTACHMENTS AND CHECKLIST:

- ☐ **PLANNING APPLICATION FORM WITH AUTHORIZING SIGNATURES.**
- ☐ **HISTORIC INFORMATION.** Provide a copy of the historic information about the building and proposed project below.
- ☐ **WRITTEN DESCRIPTION/DRAWINGS.** Detail where the substitute material is proposed, the type of substitute materials, proposed dimensions, and proposed methods of application of substitute materials and preservation of the original materials and architectural elements.
- ☐ **PHOTOGRAPHS.** Please submit any photos that clearly show the current condition of the area intended to be altered by the application of substitute materials.
- ☐ **PEST AND DRY ROT INSPECTION REPORT.** The City may require a pest and dry rot inspection and a report assessing the structure's condition.
- ☐ **REVIEW CRITERIA RESPONSES.** In a separate document, prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the review criteria found on pages 2 & 3.
- ☐ **HISTORIC PROPERTY INFORMATION & PROJECT DESCRIPTION**
Submit the following information (separately or submit this page):
 1. Historic District:
 - ☐ Monteith ☐ Hackleman ☐ Downtown ☐ Local Historic ☐ Commercial/Airport
 2. Historic rating:
 - ☐ Historic Contributing ☐ Historic Non-Contributing ☐ Non-Historic (post 1945)
 3. House Architectural Style(s): _____

4. Construction Date: 1910
5. Please explain in detail what original features (siding, windows, trim, etc.) are proposed to be replaced. For windows, measurements are needed for each window proposed to be replaced. At least one photograph of each window is required to show the condition of all window parts.

6. **Proposed materials and application methods.** Include dimensions and design details for each new window. (Note: new windows must match the style and profile of the original windows. For example, a single-pane sash must be replaced with a single-pane sash; a six-pane sash must be replaced with a six-pane sash.)
7. How will the original materials and architectural features/elements be preserved?

- ☐ **REVIEW CRITERIA RESPONSES.** On a **separate page** please prepare detailed written responses, using factual statements (called findings of fact), to explain how the historic exterior alteration complies with each of the following review criteria (ADC 7.200 and 7.210). Each criterion must have at least one finding of fact and conclusion statement. (See Example Findings of Fact on page 3.)

Eligibility for the Use of Substitute Materials. The City of Albany interprets the Secretary of Interior's Standards for Rehabilitation on compatibility to allow substitute siding and windows only under the following conditions:

1. The building or structure is rated historic non-contributing OR, in the case of historic contributing buildings or structures, the existing siding, windows, or trim is so deteriorated or damaged that it cannot be repaired and finding materials that would match the original siding, windows or trim is cost prohibitive.

Any application for the use of substitute siding, windows, and/or trim will be decided on a case-by-case basis. The prior existence of substitute siding and/or trim on the historic buildings on the Local Historic Inventory will not be considered a factor in determining any application for further use of said materials.

Design and Application Criteria for Substitute Materials. For buildings or structures rated historic contributing or historic non-contributing, the application for the use of substitute materials on siding, windows or trim must follow these guidelines:

1. The proposed substitute materials must approximate in placement, profile, size, proportion, and general appearance the existing siding, windows, or trim.
2. Substitute siding, windows, and trim must be installed in a manner that maximizes the ability of a future property owner to remove the substitute materials and restore the structure to its original condition using traditional materials.

3. The proposed material must be finished in a color appropriate to the age and style of the house, and the character of both the streetscape and the overall district. The proposed siding or trim must not be grained to resemble wood.
4. The proposed siding, siding, windows, or trim must not damage, destroy, or otherwise affect decorative or character-defining features of the building. Unusual examples of historic siding, windows, and/or trim may not be covered or replaced with substitute materials.
5. The covering of existing historic wood window or door trim with substitute trim will not be allowed if the historic trim can be reasonably repaired. Repairs may be made with fiberglass or epoxy materials to bring the surface to the original profile, which can then be finished, like the original material.
6. Substitute siding or trim may not be applied over historic brick, stone, stucco, or other masonry surfaces.

For the application of substitute siding and trim only:

7. The supporting framing that may be rotted or otherwise found unfit for continued support shall be replaced in kind with new material.
8. The interior surface of the exterior wall shall receive a vapor barrier to prevent vapor transmission from the interior spaces.
9. Walls to receive the proposed siding shall be insulated and ventilated from the exterior to eliminate any interior condensation that may occur.
10. Sheathing of an adequate nature shall be applied to support the proposed siding material with the determination of adequacy to be at the discretion of the planning staff.
11. The proposed siding shall be placed in the same direction as the historic siding.
12. The new trim shall be applied so as to discourage moisture infiltration and deterioration.
13. The distance between the new trim and the new siding shall match the distance between the historic trim and the historic siding.
14. A good faith effort shall be made to sell or donate any remaining historic material for architectural salvage to an appropriate business or non-profit organization that has an interest in historic building materials.

HISTORIC REVIEW OF SUBSTITUTE MATERIALS: OVERVIEW

The City reviews the use of substitute materials to encourage preservation of characteristics and materials of the historic architectural style. Review is required for the application of substitute materials for siding, windows, and trim on buildings or structures originally constructed before 1946 and on the Local Historic Inventory.

A pre-application meeting is recommended prior to applying for this land use permit. This meeting provides for an exchange of information about Development Code and Comprehensive Plan requirements and offers technical and design assistance to the applicant. **Please contact the Historic Preservation Planner in the Planning Division to arrange a time to meet to review your project proposal. In most cases, a site visit will be needed to document the condition of the materials proposed to be replaced.**

The Landmarks Commission reviews applications for use of substitute materials. The applicant and adjoining property owners within 100 feet (ADC 7.180) will receive notification of the Landmarks Commission meeting on the proposal. The Commission accepts both written and verbal testimony. The Landmarks Commission may attach conditions of approval appropriate for the promotion or preservation of historic or architectural integrity. All conditions must relate to a review criterion.

All decisions must specify the basis for the decision. Landmarks Commission decisions may be appealed to the Albany City Council. Decisions of the Community Development Director may be appealed to the Landmarks Commission.

Note: Projects that require a historic review may also require other land use reviews. If other reviews are required, they may be handled concurrently.

EXAMPLE OF FINDINGS OF FACT

Criteria for Findings of Fact:

Land use applications must include information that explains the intent, nature, and proposed use of the development, and other pertinent information that may have bearing on the action to be taken by the review authority. To be approved, a Historic Review application must address and demonstrate compliance with the applicable review criteria in Article 7 and related requirements. If the applicant's submittal is unclear or insufficient to demonstrate the review criteria are satisfied, the application will be delayed or denied.

Format for Findings of Fact:

Statements addressing individual criteria must be in a "finding of fact" format. A finding of fact consists of two parts:

1. Factual information such as the distance between buildings, the width and type of streets, the particular operating characteristics of a proposed use, etc. Facts should reference their source: on-site inspection, a plot plan, City plans, etc.
2. An explanation of how those facts result in a conclusion supporting the criterion.

Example:

Criterion: The proposed alteration will cause the structure to more closely approximate the historical character, appearance or material composition of the original structure than the existing structure.

Facts: The Cultural Resource Inventory indicates that the house was constructed c.1885 and the style is a Western Farmhouse. The decorative features noted are rectangular bays on the north and east sides with panels, turned porch columns, and a fixed window with a diamond shaped pattern on the east side. Sanborn Fire map research indicates that the porch originally extended the full length of the west wing of the house.

This application proposes to restore the front porch to the full length of the west wing of the house. Additional porch columns are proposed to match the existing turned porch columns; a hipped roof is proposed consistent with existing entry and bays and Sanborn maps. The current porch, which now only covers the front door, is more of a covered entry than a porch. The balusters are a connected "sawn" design (rather than turned) that was typical in the late 19th century. (SEE ATTACHED DRAWING.)

Conclusion: Extending the porch to its original size will cause the structure to more closely approximate its historic character and appearance.



City of Albany – Historic Review of Substitute Materials

Project: Linn County Armory Building
104 SE 4th Avenue, Albany, OR 97321

Architect: Varitone Architecture, LLC
231 2nd Ave SW
PO Box 3420
Albany, OR 97321

Findings of Fact

Eligibility for the Use of Substitute Materials

- **CRITERION #1:**
The building or structure is rated historic non-contributing OR, in the case of historic contributing buildings or structures, the existing siding, windows or trim is so deteriorated or damaged that it cannot be repaired and finding materials that would match the original siding, windows or trim is cost prohibitive.

Facts:

The Linn County Armory Building was constructed in 1910 and is individually listed on the National Register of Historic Places. The proposed project consists of replacing four existing windows located on the southwest elevation of the building.

The existing windows require replacement due to age, condition, and performance deficiencies. Removal of the existing windows will require removal and replacement of the associated window trim. New windows are proposed to be Milgard C650 Ultra Series fixed windows installed within the existing openings. New window trim is proposed to be Boral TruExterior trim matching the existing profile, dimensions, and appearance.

Conclusion:

The proposed replacement windows and trim are necessary building improvements that will maintain the existing appearance of the southwest elevation while improving durability, weather resistance, and long-term building performance.

Design and Application Criteria for Substitute Materials

- **CRITERION #1:**
The proposed substitute materials must approximate in placement, profile, size, proportion, and general appearance the existing siding, windows or trim.

Facts:

The proposed Milgard C650 Ultra Series windows will be installed within the existing window openings. Existing opening sizes, locations, and configurations will remain unchanged. The proposed windows measure approximately 41-1/2 inches by 63-1/2 inches and maintain the existing proportions of the openings. Replacement Boral TruExterior trim will match the existing trim profile, dimensions, and appearance.



Conclusion:

The proposed windows and trim approximate the placement, profile, size, proportion, and general appearance of the existing windows and trim and satisfy this criterion.

- **CRITERION #2:**

Substitute siding, windows and trim must be installed in a manner that maximizes the ability of a future property owner to remove the substitute materials and restore the structure to its original condition using traditional materials.

Facts:

The replacement windows will be installed within the existing openings without modification to the surrounding masonry. The replacement trim will be mechanically fastened and may be removed and replaced in the future without damaging the historic masonry wall.

Conclusion:

The proposed installation method allows future replacement with traditional materials if desired and satisfies this criterion.

- **CRITERION #3:**

The proposed material must be finished in a color appropriate to the age and style of the building and the character of both the streetscape and the overall district.

Facts:

The proposed windows will have a Black Bean finish on both the interior and exterior. Replacement trim will be painted to match the existing appearance of the building. The proposed finishes are consistent with the existing character of the building and surrounding area.

Conclusion:

The proposed finishes are appropriate to the building and surrounding historic context and satisfy this criterion.

- **CRITERION #4:**

The proposed siding, windows or trim must not damage, destroy, or otherwise affect decorative or character-defining features of the building.

Facts:

The proposed project is limited to the replacement of four existing windows and associated window trim on the southwest elevation. No modifications are proposed to the historic masonry, pilasters, roof form, structural systems, or other character-defining architectural features.

Conclusion:

The proposed work will not damage, destroy, or adversely affect any decorative or character-defining features of the building and satisfies this criterion.



- **CRITERION #5:**
The covering of existing historic wood window or door trim with substitute trim will not be allowed if the historic trim can be reasonably repaired.

Facts:

Removal of the existing windows will require removal of the associated window trim. New Boral TruExterior trim is proposed only where replacement is necessary. The replacement trim will match the existing profile, dimensions, and appearance.

Conclusion:

Replacement trim will be used only where necessary to accommodate the replacement windows and will maintain the appearance of the existing trim, satisfying this criterion.

- **CRITERION #6:**
Substitute siding or trim may not be applied over historic brick, stone, stucco, or other masonry surfaces.

Facts:

No substitute siding is proposed. Replacement trim will be installed only at the window openings and will not be applied over historic masonry surfaces.

Conclusion:

The proposed work does not involve covering historic masonry surfaces and satisfies this criterion.

For the Application of Substitute Siding and Trim Only

- **CRITERION #7:**
The supporting framing that may be rotted or otherwise found unfit for continued support shall be replaced in kind with new material.

Facts:

No structural framing replacement is proposed as part of this project.

Conclusion:

Not applicable.

- **CRITERION #8:**
The interior surface of the exterior wall shall receive a vapor barrier to prevent vapor transmission from the interior spaces.

Facts:

The project consists of window and trim replacement only. Exterior wall construction is not being modified.

Conclusion:

Not applicable.



- CRITERION #9:
Walls to receive the proposed siding shall be insulated and ventilated from the exterior to eliminate any interior condensation that may occur.

Facts:

No siding is proposed.

Conclusion:

Not applicable.

- CRITERION #10:
Sheathing of an adequate nature shall be applied to support the proposed siding material.

Facts:

No siding is proposed.

Conclusion:

Not applicable.

- CRITERION #11:
The proposed siding shall be placed in the same direction as the historic siding.

Facts:

No siding is proposed.

Conclusion:

Not applicable.

- CRITERION #12:
The new trim shall be applied so as to discourage moisture infiltration and deterioration.

Facts:

The proposed Boral TruExterior trim is specifically designed for exterior applications and is resistant to moisture-related deterioration. The trim will be installed with appropriate flashing, sealants, and weather-resistant construction practices.

Conclusion:

The proposed trim installation will discourage moisture infiltration and deterioration and satisfies this criterion.

- CRITERION #13:
The distance between the new trim and the new siding shall match the distance between the historic trim and the historic siding.



Facts:

No siding replacement is proposed. Replacement trim will match the existing profile and dimensions at the existing window openings.

Conclusion:

The proposed trim installation maintains the existing relationship between trim and adjacent wall surfaces and satisfies this criterion.

- **CRITERION #14:**
A good faith effort shall be made to sell or donate any remaining historic material for architectural salvage to an appropriate business or non-profit organization that has an interest in historic building materials.

Facts:

Any removed materials determined to have salvage value will be made available for reuse, salvage, or appropriate disposal at the owner's discretion.

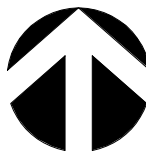
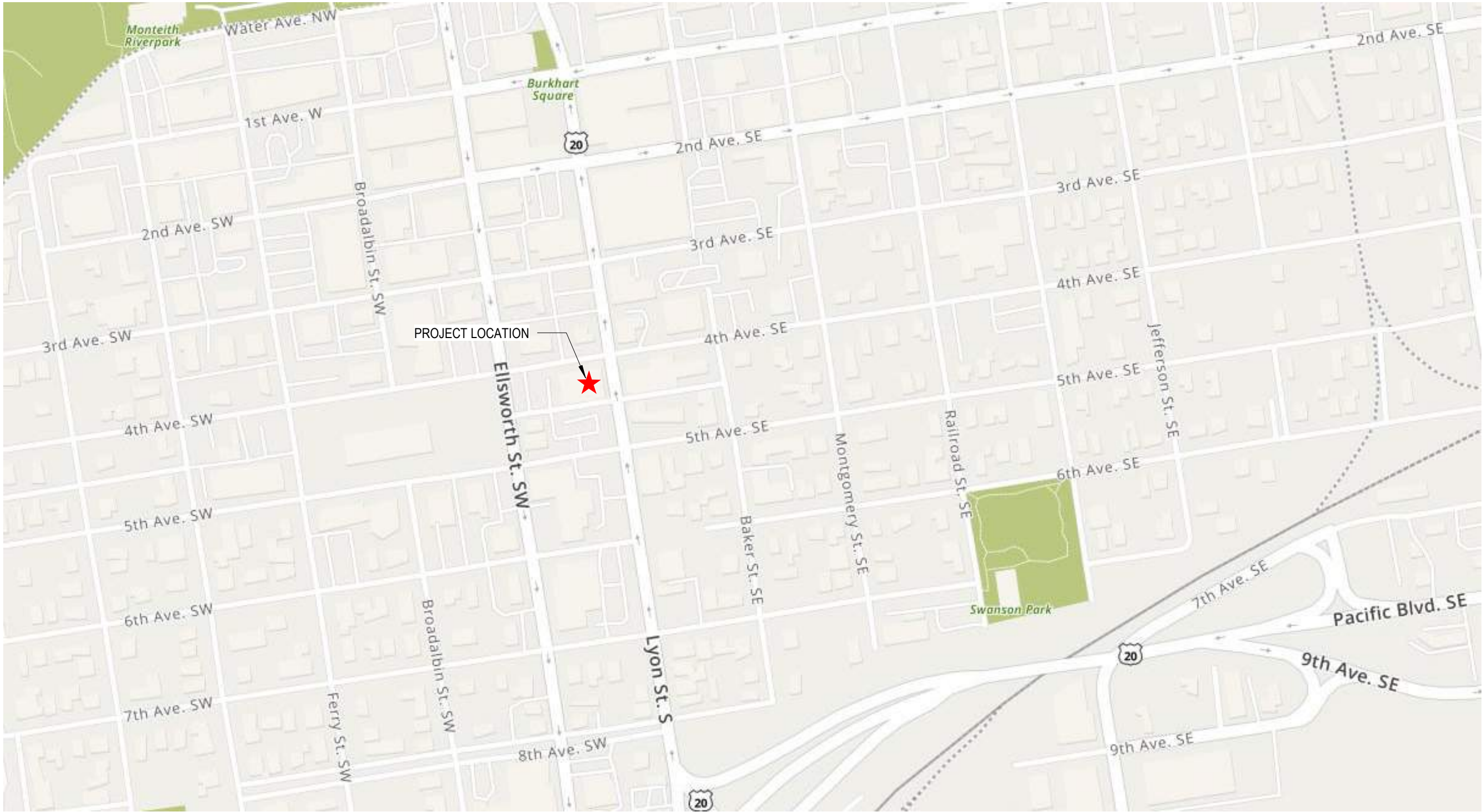
Conclusion:

A good faith effort will be made to reuse or salvage removed materials where practical, satisfying this criterion.

LINN COUNTY ARMORY BUILDING

104 SE 4TH AVE, ALBANY, OR 97321

VICINITY MAP



PROJECT INFORMATION

PROJECT DESCRIPTION:
THE LINN COUNTY ARMORY BUILDING, LOCATED AT 104 SE 4TH AVENUE, ALBANY, OREGON, WAS CONSTRUCTED IN 1910 AS AN OREGON NATIONAL GUARD ARMORY. THE BUILDING SERVED MILITARY FUNCTIONS FOR MANY YEARS AND LATER TRANSITIONED TO CIVIC AND GOVERNMENTAL USES. THE STRUCTURE IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES AND REMAINS AN IMPORTANT HISTORIC RESOURCE WITHIN THE CITY OF ALBANY, REFLECTING THE COMMUNITY'S MILITARY AND CIVIC HISTORY.

PROPOSED PROJECT:
THE PROPOSED PROJECT CONSISTS OF REPLACING FOUR EXISTING WINDOWS LOCATED ON THE SOUTHWEST ELEVATION OF THE BUILDING. THE REPLACEMENT WINDOWS WILL BE INSTALLED WITHIN THE EXISTING WINDOW OPENINGS AND WILL NOT ALTER THE SIZE, LOCATION, OR CONFIGURATION OF THE OPENINGS. THE PROJECT ALSO INCLUDES REPLACEMENT OF DETERIORATED WINDOW TRIM WITH BORAL TRUEX EXTERIOR TRIM MATCHING THE EXISTING DIMENSIONS AND APPEARANCE. THE PROJECT IS INTENDED TO IMPROVE THE BUILDING'S PERFORMANCE AND LONGEVITY WHILE MAINTAINING ITS HISTORIC CHARACTER AND ARCHITECTURAL APPEARANCE.

LOCATION: 104 SE 4TH AVENUE, ALBANY, OR 97321

CONSTRUCTION DATE: 1910

- DESCRIPTION OF ALTERATIONS:**
1. REMOVAL OF FOUR EXISTING WINDOWS ON THE SOUTHWEST ELEVATION.
 2. INSTALLATION OF FOUR NEW MILGARD C650 ULTRA SERIES FIXED WINDOWS MEASURING 41 1/2' X 63 1/2'.
 3. NEW WINDOWS TO BE INSTALLED WITHIN EXISTING WINDOW OPENINGS.
 4. EXISTING WINDOW OPENING SIZES AND LOCATIONS TO REMAIN UNCHANGED.
 5. REMOVAL AND REPLACEMENT OF DETERIORATED WINDOW TRIM WITH BORAL TRUEX EXTERIOR TRIM MATCHING THE EXISTING DIMENSIONS AND APPEARANCE.
 6. NO MODIFICATIONS TO EXTERIOR MASONRY, STRUCTURAL ELEMENTS, OR SIGNIFICANT ARCHITECTURAL FEATURES.
 7. NEW WINDOWS TO MATCH INTERIOR AND EXTERIOR FINISHES COLOR.

REVIEW CRITERIA RESPONSES:
CRITERION: THE PROPOSED ALTERATION WILL PRESERVE AND MAINTAIN THE HISTORIC CHARACTER OF THE STRUCTURE WHILE ALLOWING FOR NECESSARY BUILDING IMPROVEMENTS.

AND

THE PROPOSED ALTERATION IS COMPATIBLE WITH THE HISTORIC CHARACTERISTICS OF THE AREA AND WITH THE EXISTING STRUCTURE IN MASSING, SIZE, SCALE, MATERIALS, AND ARCHITECTURAL FEATURES.

FACTS:
THE PROPOSED WORK IS LIMITED TO THE REPLACEMENT OF FOUR EXISTING WINDOWS AND ASSOCIATED WINDOW TRIM LOCATED ON THE SOUTHWEST ELEVATION OF THE LINN COUNTY ARMORY BUILDING. NO CHANGES ARE PROPOSED TO THE BUILDING FOOTPRINT, MASSING, SCALE, ARCHITECTURAL STYLE, OR CHARACTER-DEFINING FEATURES.

THE REPLACEMENT WINDOWS WILL BE INSTALLED WITHIN THE EXISTING OPENINGS, MAINTAINING THE HISTORIC WINDOW PATTERN AND RHYTHM OF THE SOUTHWEST FACADE. THE SIZE, LOCATION, AND CONFIGURATION OF THE EXISTING OPENINGS WILL REMAIN UNCHANGED.

EXISTING DETERIORATED WINDOW TRIM WILL BE REMOVED AND REPLACED WITH BORAL TRUEX EXTERIOR TRIM MATCHING THE EXISTING DIMENSIONS AND APPEARANCE. THE REPLACEMENT TRIM WILL PROVIDE IMPROVED DURABILITY WHILE MAINTAINING THE EXISTING VISUAL CHARACTER OF THE BUILDING.

THE PROJECT DOES NOT INVOLVE ALTERATIONS TO THE BUILDING'S HISTORIC MASONRY, DECORATIVE FEATURES, OR STRUCTURAL SYSTEMS. THE PROPOSED WORK IS A MINOR EXTERIOR ALTERATION INTENDED TO IMPROVE BUILDING PERFORMANCE WHILE PRESERVING THE BUILDING'S HISTORIC APPEARANCE.

BECAUSE THE EXISTING OPENINGS ARE RETAINED AND NO SIGNIFICANT ARCHITECTURAL FEATURES ARE MODIFIED OR REMOVED, THE VISUAL IMPACT OF THE PROJECT ON THE HISTORIC RESOURCE IS MINIMAL. THE PROPOSED REPLACEMENT WINDOWS AND TRIM ARE COMPATIBLE WITH THE BUILDING'S EXISTING ARCHITECTURAL CHARACTER AND WILL NOT ADVERSELY AFFECT THE HISTORIC INTEGRITY OF THE STRUCTURE.

CONCLUSION:
THE PROPOSED REPLACEMENT OF FOUR EXISTING WINDOWS AND ASSOCIATED WINDOW TRIM ON THE SOUTHWEST ELEVATION IS A COMPATIBLE ALTERATION THAT PRESERVES THE HISTORIC CHARACTER OF THE LINN COUNTY ARMORY BUILDING WHILE PROVIDING NECESSARY BUILDING IMPROVEMENTS.

THE PROJECT MAINTAINS THE EXISTING WINDOW OPENINGS, PRESERVES THE OVERALL APPEARANCE OF THE FACADE, AND DOES NOT ALTER ANY SIGNIFICANT HISTORIC ARCHITECTURAL FEATURES. THE PROPOSED WORK IS CONSISTENT WITH THE INTENT OF ALBANY'S HISTORIC PRESERVATION STANDARDS AND IS COMPATIBLE WITH THE HISTORIC RESOURCE.

THEREFORE, THE PROPOSED ALTERATION SATISFIES THE APPLICABLE HISTORIC REVIEW CRITERIA AND WILL NOT ADVERSELY IMPACT THE HISTORIC SIGNIFICANCE OF THE LINN COUNTY ARMORY BUILDING.

SHEET LIST

Sheet Number	Sheet Name
ARCHITECTURAL	
HR-1	PROJECT DESCRIPTION
HR-2	EXISTING PHOTOS
HR-3	DEMOLITION PLAN AND ELEVATION
HR-4	PLAN, ELEVATION & WINDOW DETAILS



SITE ADDRESS: 104 SE 4TH AVE.
ALBANY, OREGON 97321

TENANT: LINN COUNTY ALCOHOL & DRUG TREATMENT
104 SE 4TH AVE.
ALBANY, OR 97321
PH: (541) 704-3004
CONTACT: RUSS WILLIAMS

ARCHITECT: VARITONE ARCHITECTURE, LLC
231 2nd AVE SW
ALBANY, OR 97321
PH: (541) 497-2954
ARCHITECT: CHRISTINA LARSON, AIA
CONTACT: SILIA SEQUEIRA

JURISDICTION: THE CITY OF ALBANY
COMMUNITY DEVELOPMENT DEPARTMENT
333 BROADALBIN ST SW, ALBANY, OR 97321
PH: (541) 917-7550

OWNER: LINN COUNTY GENERAL
ADMINISTRATION
300 SW 4TH AVE
ALBANY, OR 97321
PH: (541) 704-3004
CONTACT: RUSS WILLIAMS

CONTRACTOR:
OWNER, SELF PERFORMED

LINN COUNTY
ARMORY BUILDING

104 SE 4TH AVE, ALBANY, OR 97321

Issue: HISTORIC REVIEW
Date: 06/19/2026

Revision:	Date:

PROJECT
DESCRIPTION

HR-1

EXISTING IMAGES

IMAGE #1

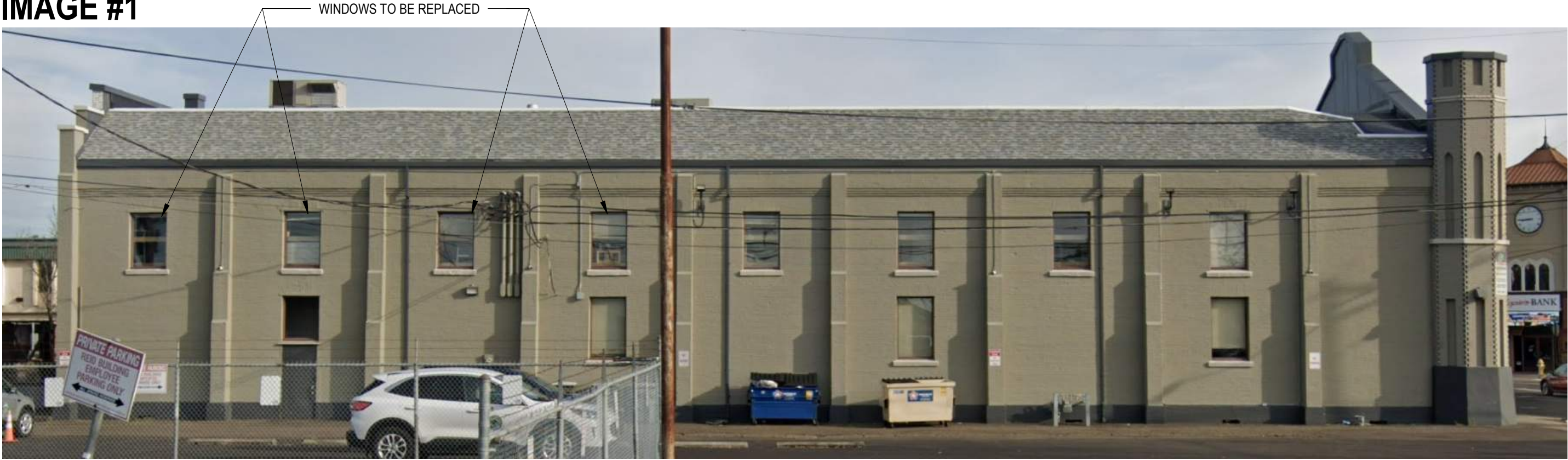


IMAGE #2



WINDOW IMAGES

IMAGE #3



MATERIAL IMAGES

IMAGE #4



IMAGE #5



IMAGE #1

SOUTHWEST ELEVATION:
EXISTING SOUTHWEST ELEVATION OF THE LINN COUNTY ARMORY BUILDING. THE PROPOSED WORK IS LIMITED TO THE REPLACEMENT OF FOUR EXISTING WINDOWS AND ASSOCIATED WINDOW TRIM. NO MODIFICATIONS ARE PROPOSED TO THE BUILDING FOOTPRINT, MASONRY WALLS, ARCHITECTURAL FEATURES, OR STRUCTURAL SYSTEMS.

THE PROJECT WILL MAINTAIN THE HISTORIC CHARACTER OF THE BUILDING WHILE IMPROVING BUILDING PERFORMANCE AND LONG-TERM DURABILITY.

IMAGE #2

SOUTHWEST ELEVATION
VIEW OF THE FOUR EXISTING WINDOWS PROPOSED FOR REPLACEMENT.

THE EXISTING WINDOW OPENINGS WILL REMAIN UNCHANGED IN SIZE, LOCATION, AND CONFIGURATION. NEW MILGARD C650 ULTRA SERIES FIXED WINDOWS WILL BE INSTALLED WITHIN THE EXISTING OPENINGS. THE REPLACEMENT WINDOWS WILL MAINTAIN THE EXISTING WINDOW PATTERN AND APPEARANCE OF THE SOUTHWEST FACADE.

IMAGE #4

PROPOSED WINDOW
PROPOSED MILGARD C650 ULTRA SERIES FIXED WINDOW, 41 1/2" X 63 1/2", BLACK BEAN INTERIOR AND EXTERIOR FINISH.

THE REPLACEMENT WINDOW WILL BE INSTALLED WITHIN THE EXISTING OPENING AND WILL NOT ALTER THE SIZE, LOCATION, OR CONFIGURATION OF THE OPENING. THE PROPOSED WINDOW IS COMPATIBLE WITH THE EXISTING ARCHITECTURAL CHARACTER OF THE BUILDING AND WILL HAVE MINIMAL VISUAL IMPACT ON THE HISTORIC RESOURCE.

IMAGE #5

EXISTING DETERIORATED WINDOW TRIM WILL BE REMOVED AND REPLACED WITH BORAL TRUEXTERIOR TRIM. BORAL TRUEXTERIOR IS A COMPOSITE EXTERIOR TRIM MATERIAL MANUFACTURED TO PROVIDE ENHANCED DURABILITY, DIMENSIONAL STABILITY, AND RESISTANCE TO MOISTURE-RELATED DETERIORATION. THE MATERIAL CAN BE FABRICATED AND FINISHED TO MATCH THE EXISTING TRIM PROFILE, DIMENSIONS, AND APPEARANCE, ALLOWING THE HISTORIC CHARACTER OF THE BUILDING TO BE MAINTAINED WHILE IMPROVING LONG-TERM PERFORMANCE AND REDUCING FUTURE MAINTENANCE REQUIREMENTS.

HISTORICAL IMAGES



VIEW FROM SW 4TH AVE AND SW LYON ST
HISTORIC PHOTOGRAPH OF LINN COUNTY ARMORY BUILDING.

HISTORIC PHOTOGRAPH SHOWING THE ORIGINAL APPEARANCE OF THE LINN COUNTY ARMORY BUILDING SHORTLY AFTER CONSTRUCTION. THE IMAGE ILLUSTRATES THE HISTORIC WINDOW PATTERN AND MASONRY CHARACTER OF THE BUILDING.

THE PROPOSED PROJECT RETAINS THE EXISTING WINDOW OPENINGS AND PRESERVES THE HISTORIC RHYTHM AND APPEARANCE OF THE SOUTHWEST ELEVATION WHILE PROVIDING UPDATED WINDOW ASSEMBLIES AND IMPROVED DURABILITY.





12 / 31 / 2026



231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

SITE ADDRESS
104 SE 4TH AVE.
ALBANY, OR 97321

OWNER
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ADMINISTRATION
300 SW 4TH AVE
ALBANY, OR 97321
PH: (541) 704-3004
CONTACT: RUSS WILLIAMS

CONTRACTOR
OWNER, SELF PERFORMED

GENERAL DEMOLITION NOTES:

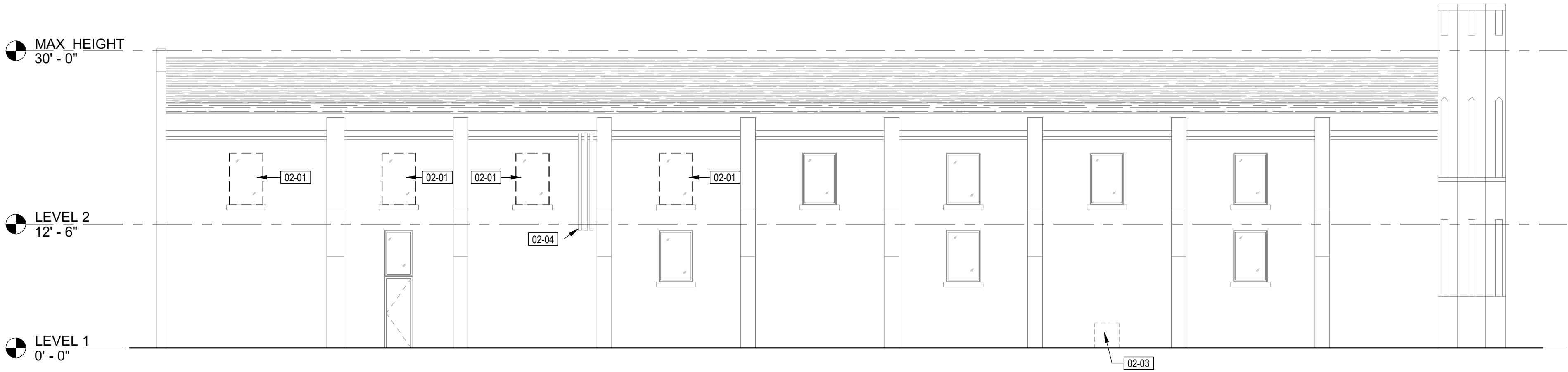
- DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND MEANT TO ASSIST THE CONTRACTOR IN ESTABLISHING THE GENERAL SCOPE-OF-WORK. CONTRACTOR IS TO PROVIDE ALL DEMOLITION REQUIRED TO COMPLETE THE WORK INDICATED IN THE DRAWINGS AND SPECIFICATIONS. WHERE DEMOLITION OCCURS, PATCH REMAINING WALLS, FLOORS, AND CEILING TO MATCH EXISTING ADJACENT MATERIAL, FINISH, AND COLOR UNLESS OTHERWISE NOTED. REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN A MANNER TO PREVENT DAMAGE. STORE AND PROTECT THE MATERIALS.
- THE TERMS "DEMO" AND "REMOVE" INDICATE THAT THE ITEM BECOMES PROPERTY OF THE CONTRACTOR FOR DISPOSAL. THE TERM "SALVAGE" INDICATES THE ITEM IS TO BE RE-INSTALLED OR TURNED OVER TO THE OWNER, AS NOTED IN THE DRAWINGS.
- ITEMS TO BE REMOVED AND RE-INSTALLED SHALL BE THOROUGHLY CLEANED PRIOR TO RE-INSTALLATION. PRIOR TO SAW CUTTING ANY EXISTING CONCRETE SLAB, PROVIDE FIELD ENGINEERING AND A THOROUGH INVESTIGATION OF ANY EXISTING UTILITIES WITH IN THE AREA OF WORK, INCLUDING ELECTRICAL, TELECOM, WATER, SANITARY SEWER, OR STORM DRAIN LINES

LEGEND:

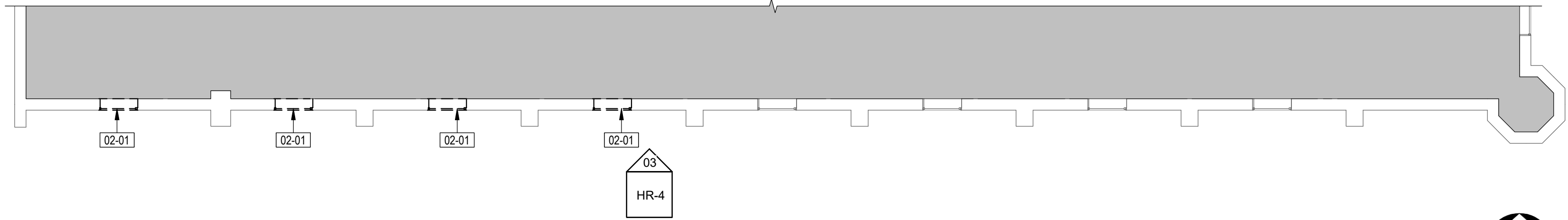
- EXISTING DOOR
- EXISTING WALL
- WINDOW TO BE REMOVED
- NIC

KEYNOTE LEGEND

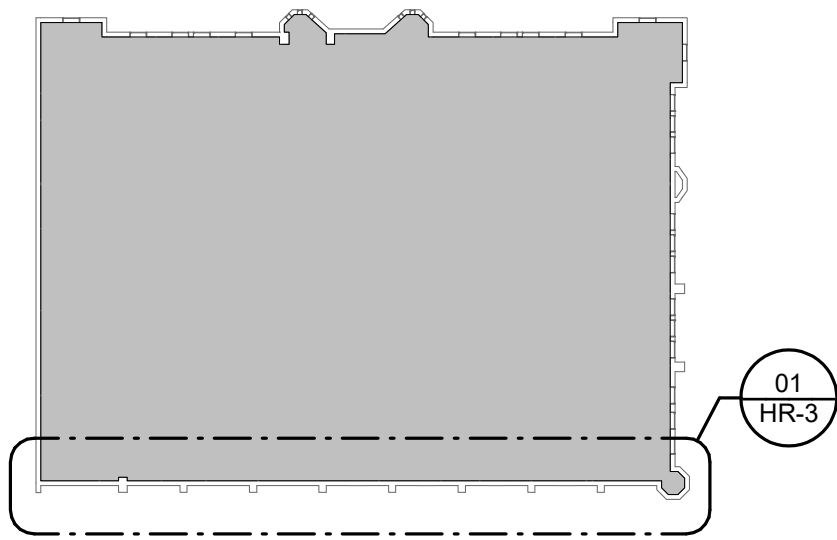
#	Keynote Description
02-01	REMOVE (E) WINDOWS AND TRIM AND PREPARE OPENING FOR NEW MILGARD WINDOW
02-03	(E) METER
02-04	(E) ELECTRICAL SERVICE DROPS



03 SOUTHWEST DEMOLITION ELEVATION
1/8" = 1'-0"



01 DEMOLITION PLAN LEVEL 2
1/8" = 1'-0"



02 KEY PLAN
1" = 40'-0"

LINN COUNTY
ARMORY BUILDING

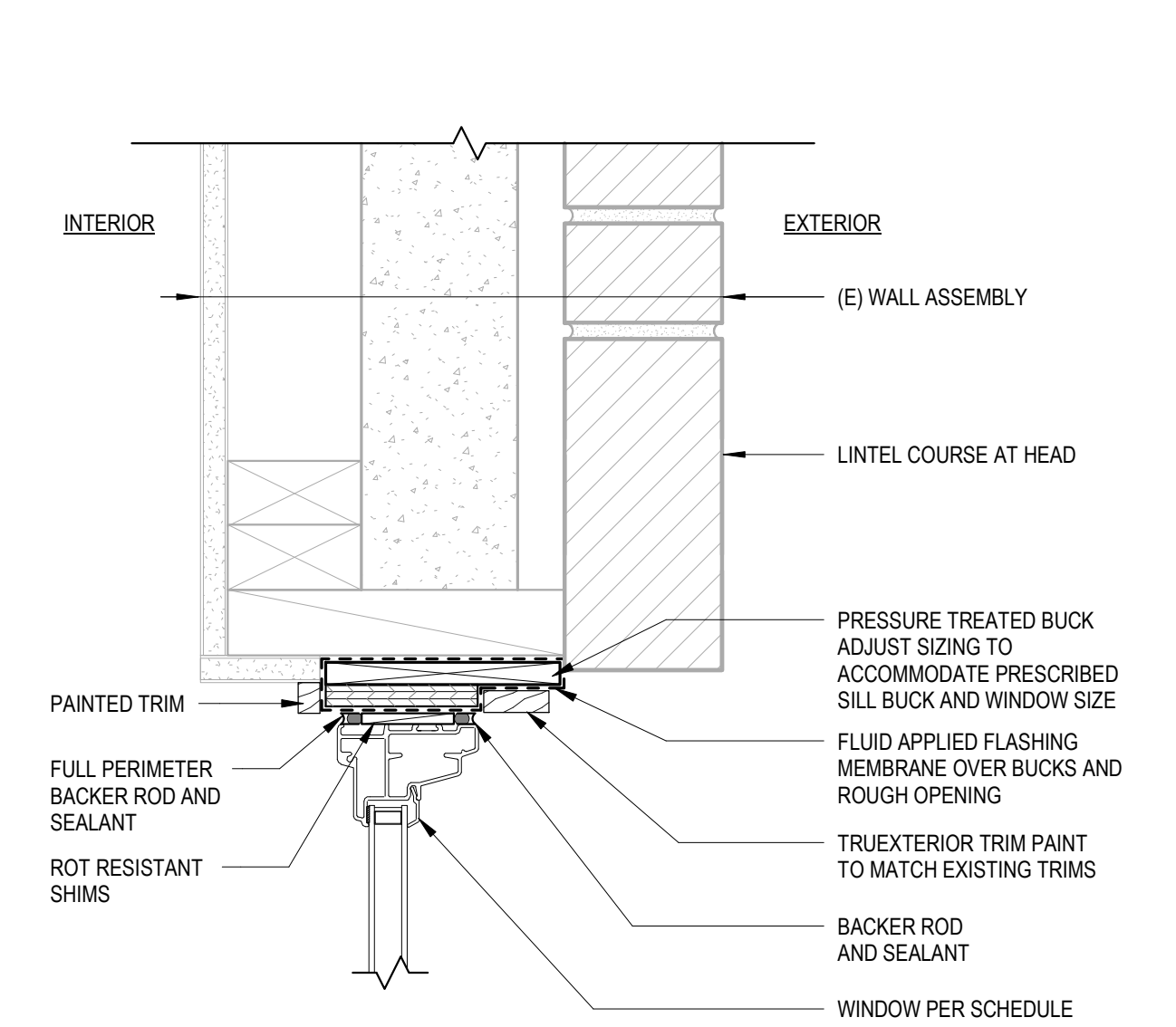
104 SE 4TH AVE, ALBANY, OR 97321

Issue: HISTORIC REVIEW
Date: 06/19/2026

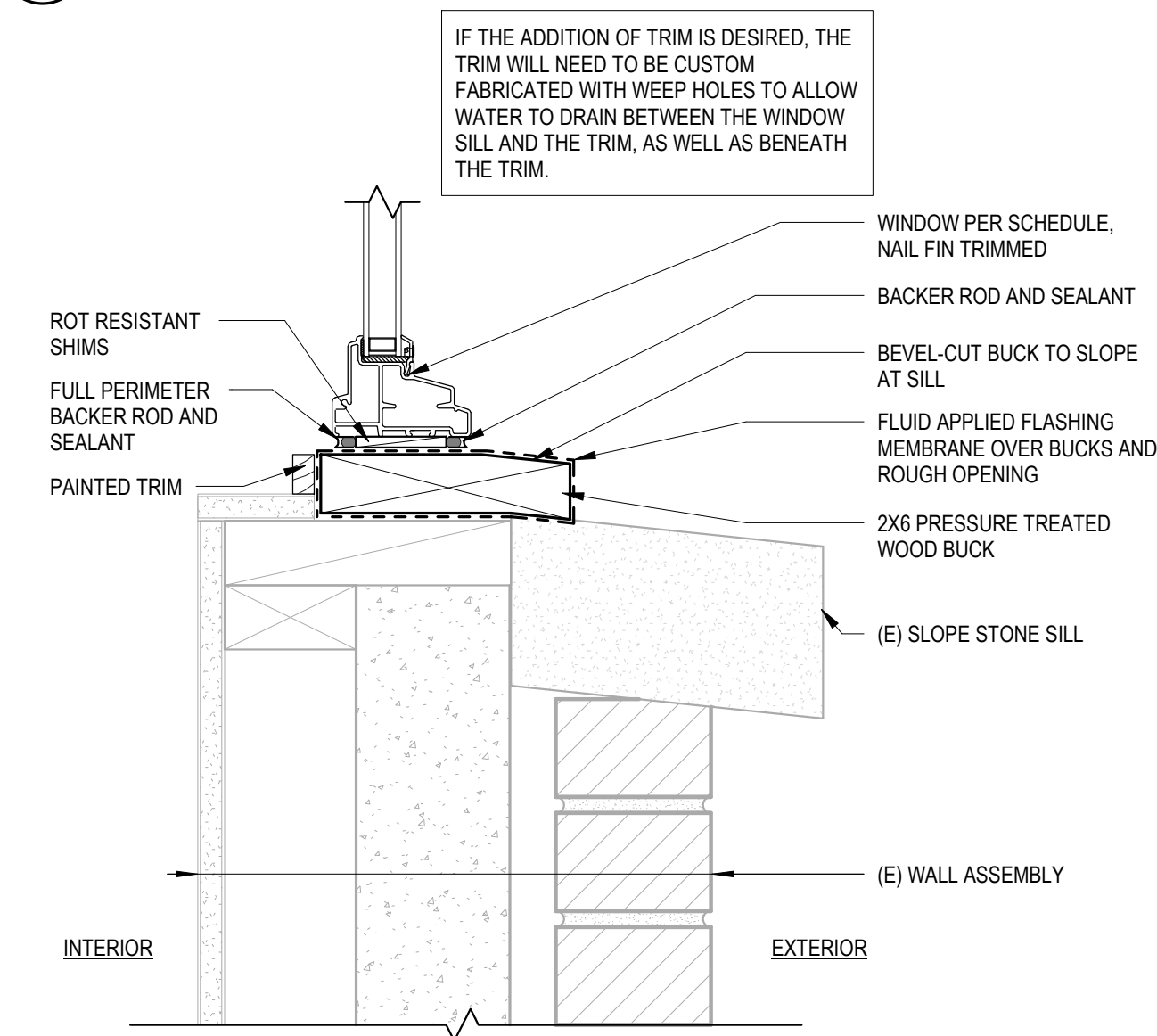
Revision: Date:

DEMOLITION
PLAN AND
ELEVATION

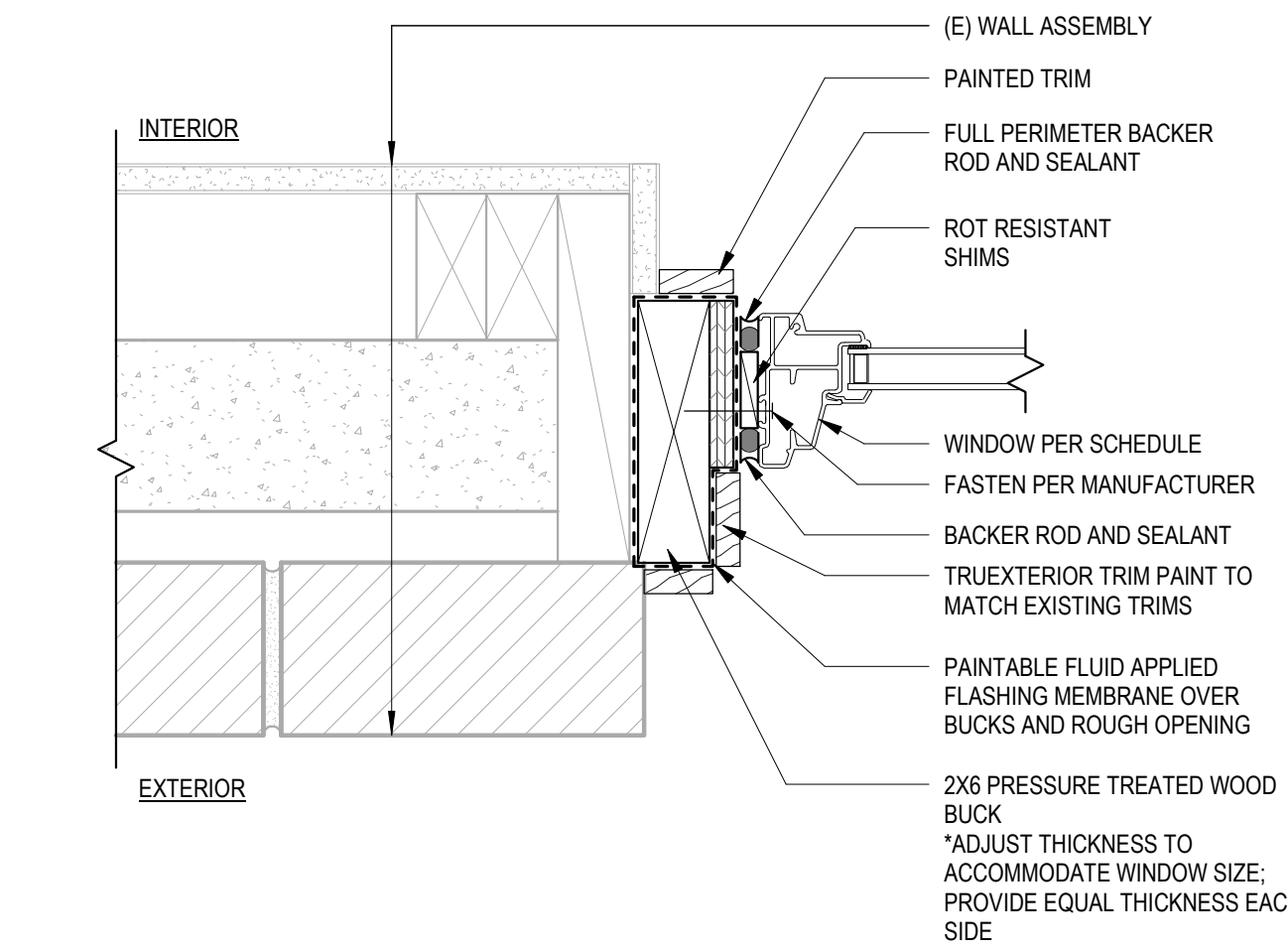
HR-3



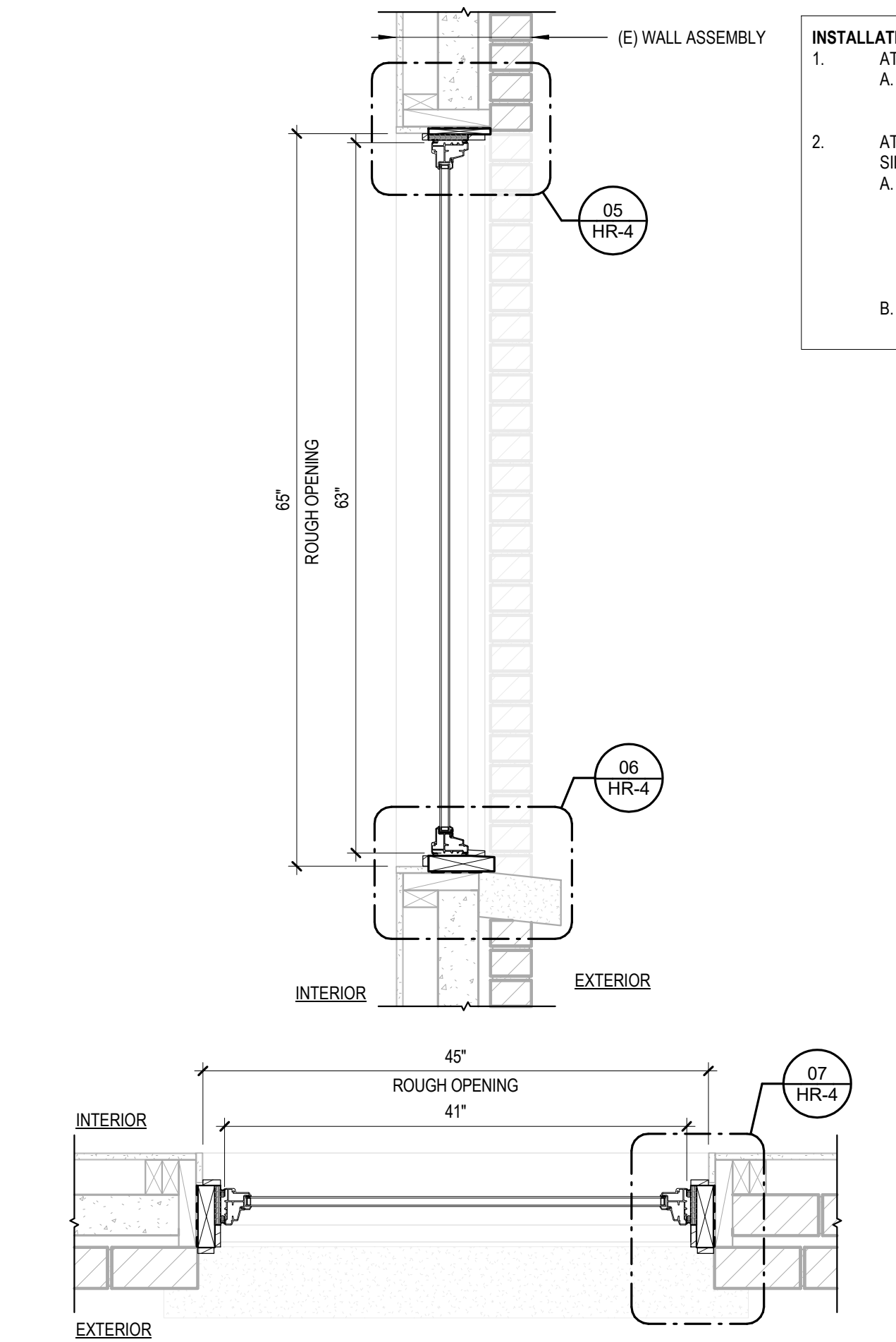
05 WINDOW HEAD DETAIL
3" = 1'-0"



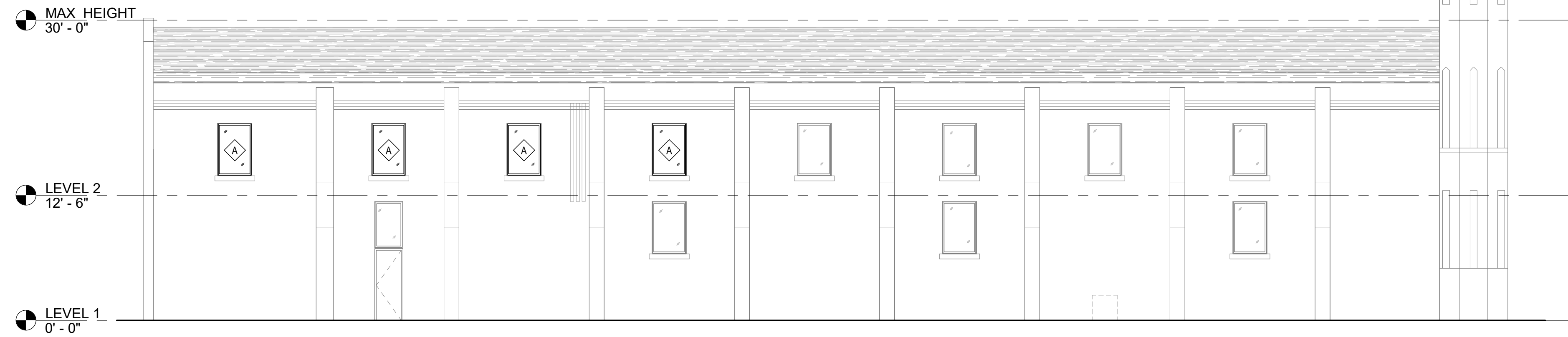
06 WINDOW SILL DETAIL
3" = 1'-0"



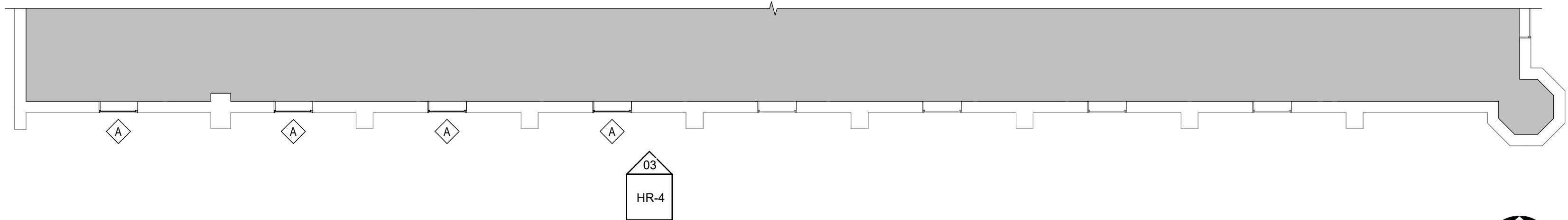
07 WINDOW JAMB DETAIL
3" = 1'-0"



04 WINDOW DETAIL
1" = 1'-0"



03 SOUTHWEST ELEVATION
1/8" = 1'-0"



02 ENLARGE 2ND FLOOR PLAN
1/8" = 1'-0"

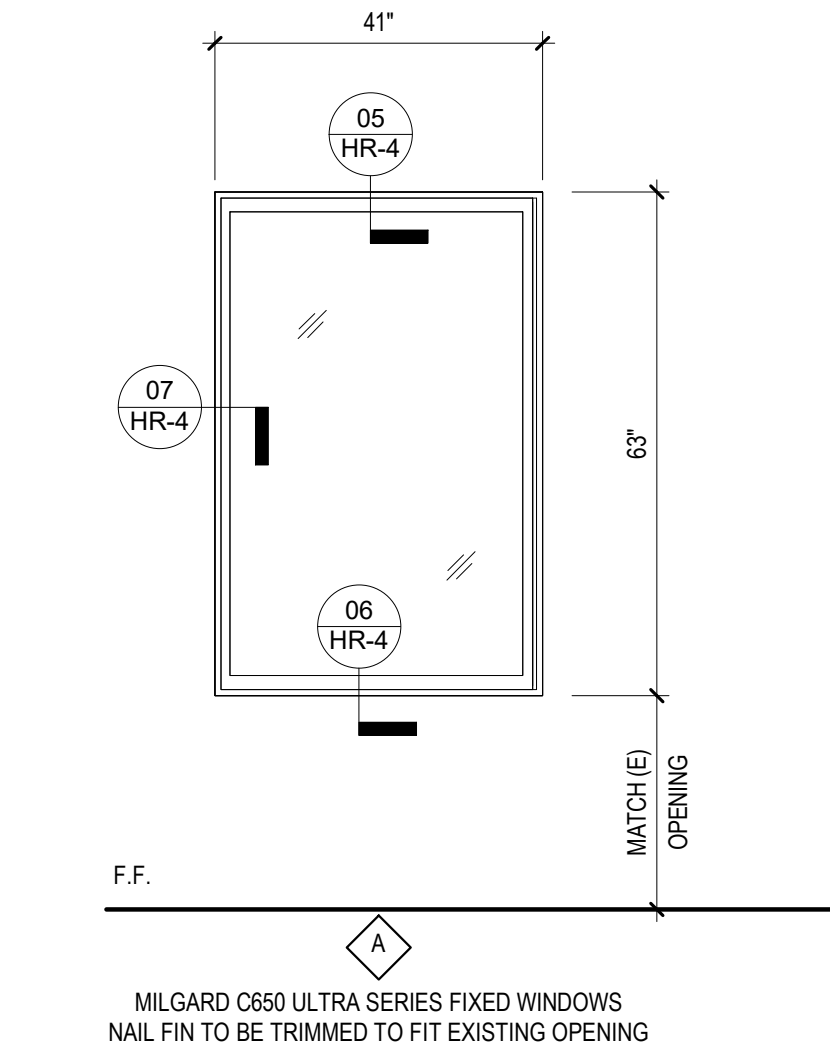
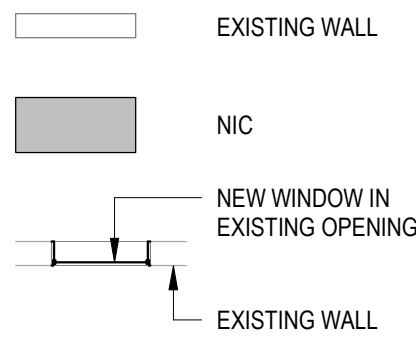
INSTALLATION NOTES:

- AT ALL ROUGH OPENINGS:
A. APPLY FLUID APPLIED IN ROUGH OPENING. ALLOW A DAY TO CURE PRIOR TO INSTALLATION OF WOOD AND PLYWOOD BUCKS.
- AT ALL PRESSURE TREATED WOOD AND PLYWOOD BUCKS (SEE SILL, JAMB, AND HEAD DETAILS):
A. APPLY A PAINTABLE STPE FLUID APPLIED FLASHING ADD PRIMER AS RECOMMENDED BY MANUFACTURER (HENRY AIRBLOC LIQUID FLASHING, PROSOCO R-GUARD FAST FLASH, OR EQUAL) ALL SIX SIDES. PIECES SHOULD BE FULLY ENCAPSULATED. ALLOW TO CURE PRIOR TO INSTALL.
B. FIELD PAINT TO MATCH ADJACENT WINDOW TRIMS AFTER INSTALL.

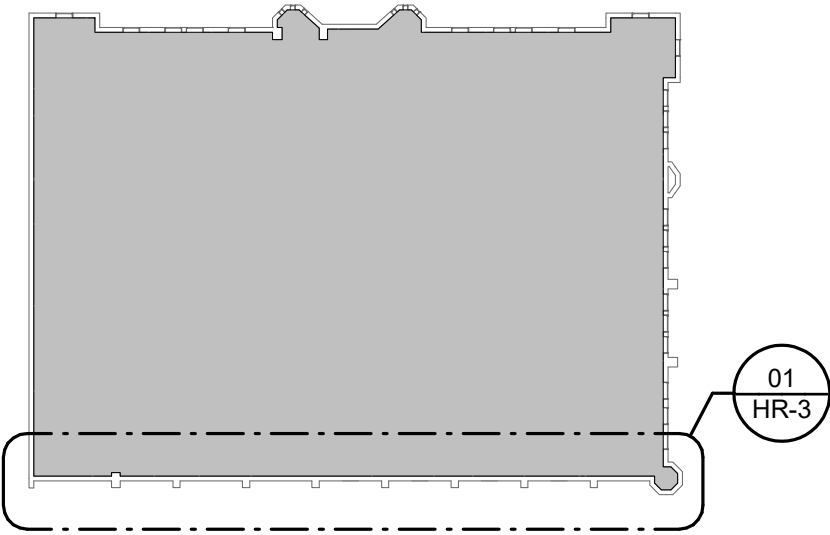
GENERAL FLOOR PLAN NOTES:

- DIMENSIONS ARE BASED ON WOOD FRAMED CONSTRUCTION. ALL INTERIOR WALL DIMENSIONS ARE FROM INTERIOR FACE OF EXISTING WALL TO STUD CENTER OF NEW WALL.

LEGEND:



01 KEY PLAN
1" = 40'-0"



01 KEY PLAN
1" = 40'-0"



12 / 31 / 2026

VARITONE ARCHITECTURE

231 2nd Avenue SW
Albany, Oregon 97321
Ph: 541.497.2954

SITE ADDRESS:
104 SE 4TH AVE.
ALBANY, OR 97321

OWNER:
LINN COUNTY GENERAL
ADMINISTRATION
300 SW 4TH AVE.
ALBANY, OR 97321
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CONTACT: RUSS WILLIAMS

CONTRACTOR:
OWNER, SELF PERFORMED

LINN COUNTY
ARMORY BUILDING

104 SE 4TH AVE, ALBANY, OR 97321

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PLAN,
ELEVATION &
WINDOW
DETAILS

HR-4